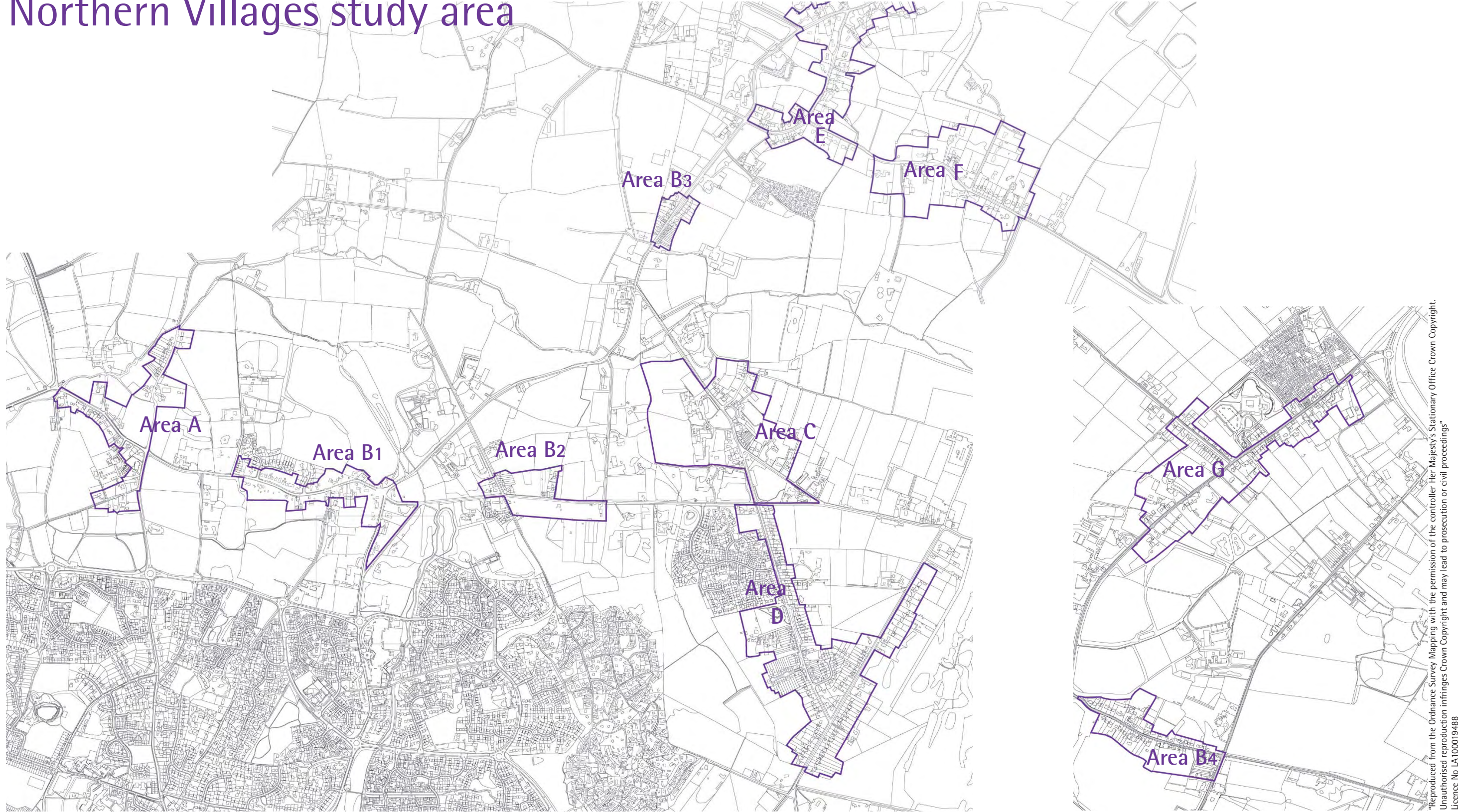


Chapter 4

Northern Villages study area



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Structure

Area A: Newell Green

- This area comprises the settlement of Newell Green including its recreation ground;
- It consists of two smaller pockets of development, one along Forest Road and one on Osborne Lane;
- The Warfield Memorial Ground provides a central focus for this village;
- It has a self contained settlement character and is separated from Hayley Green by the grounds of Newell Hall and Warfield Priory; and
- Development is concentrated on the southern side of Forest Road with views across open fields to the north.

Area B: Warfield Street (B1), Hayley Green (B2), Brock Hill (B3), Lovel Road (B4)

- The above settlements are all of a similar development structure and character. Each settlement consists of a row of houses set alongside a road. This linear development form has been broken up by a small number of cul-de-sac infill developments. However these do not impact on the overall character; and
- Most importantly each of these settlements is clearly defined and approached through the surrounding landscape.

Area C: Winkfield Row North

- This area is of high quality character and townscape. It is based on an historic settlement structure with a number of Victorian houses set around a dominant school building; and
- The tight grain of Victorian development at the junction of Winkfield Row and Chavey Down Road marks a central focal point.

Area D: Winkfield Row South

- The character of Winkfield Row South is similar to Character A, and consists predominately of linear development either side of Chavey Down Road, Gorse Place and Locks Ride. However the character varies along the length of these roads with lower density and larger houses in the south and particularly around Locks Ride.

Area E: Winkfield Street/Maidens Green

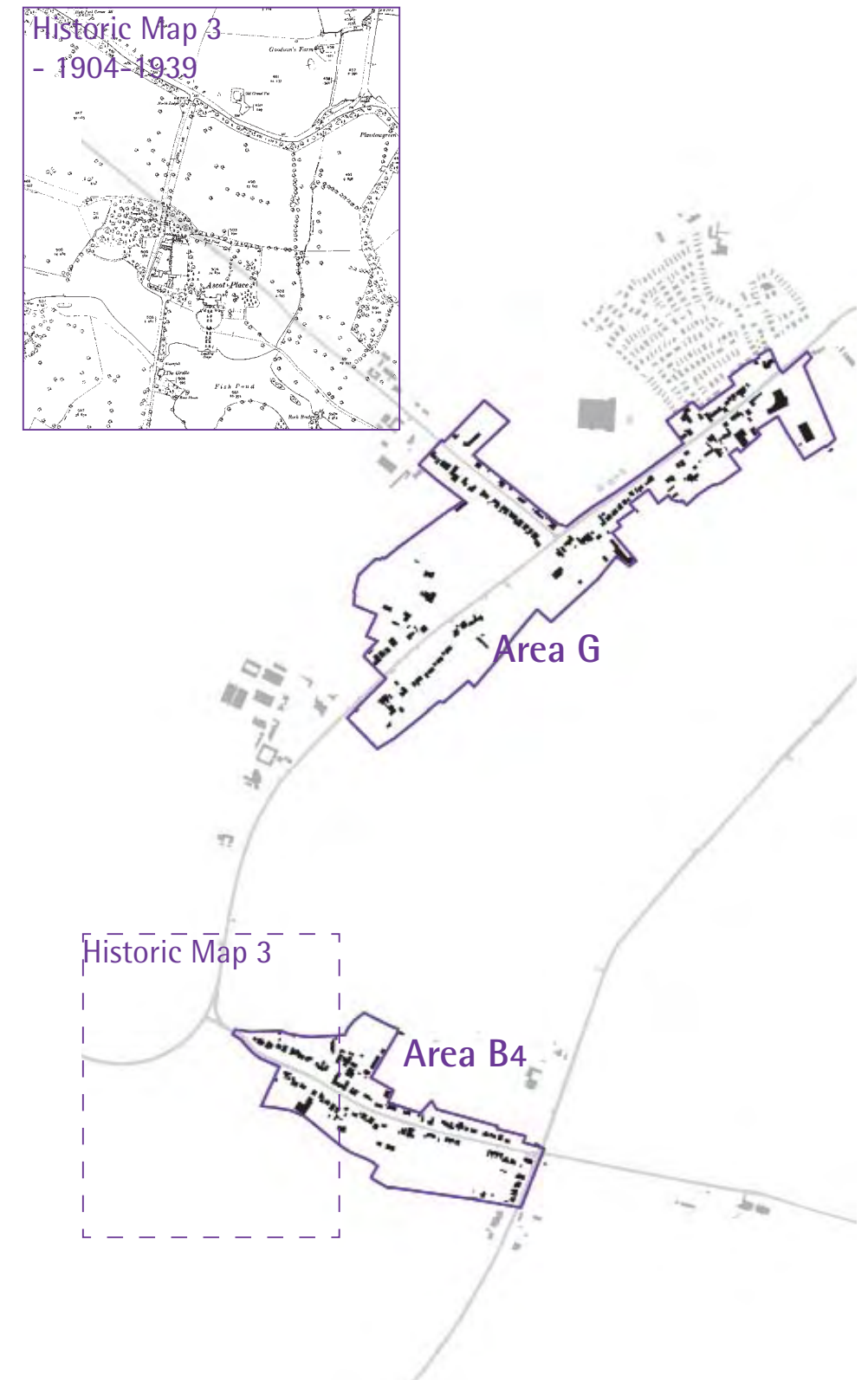
- Development around Winkfield Street comprises a loose collection of individual houses set in large grounds. These houses vary in terms of architecture, period and setting. Some more historic buildings create a strong edge to the predominately rural street, while others are set back within their plots; and
- The area around Maidens Green varies slightly in that it consists of smaller plot and house sizes and contains a number of non residential uses.

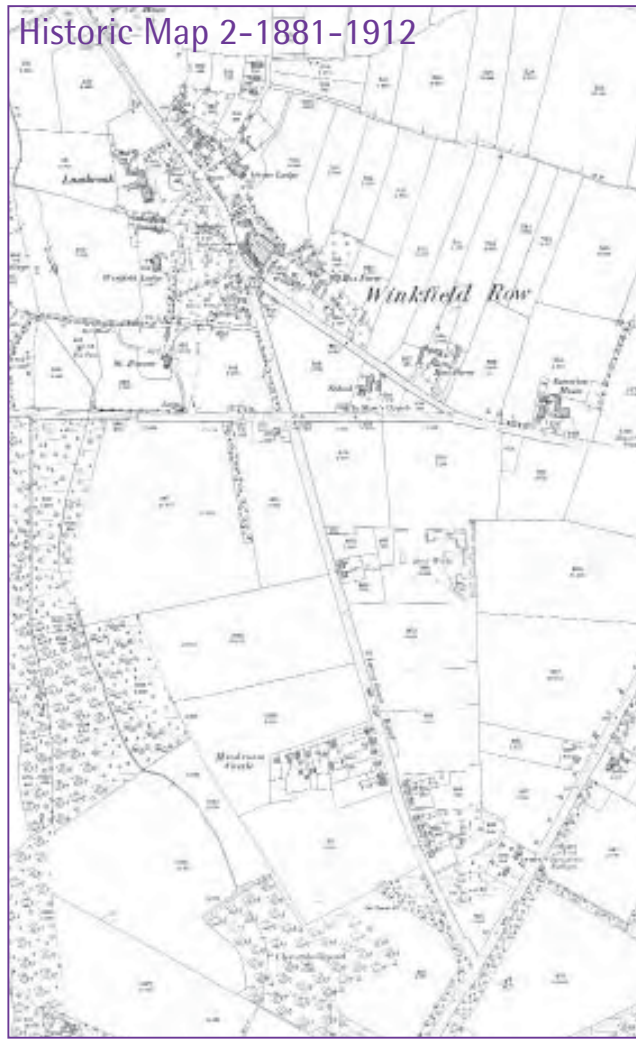
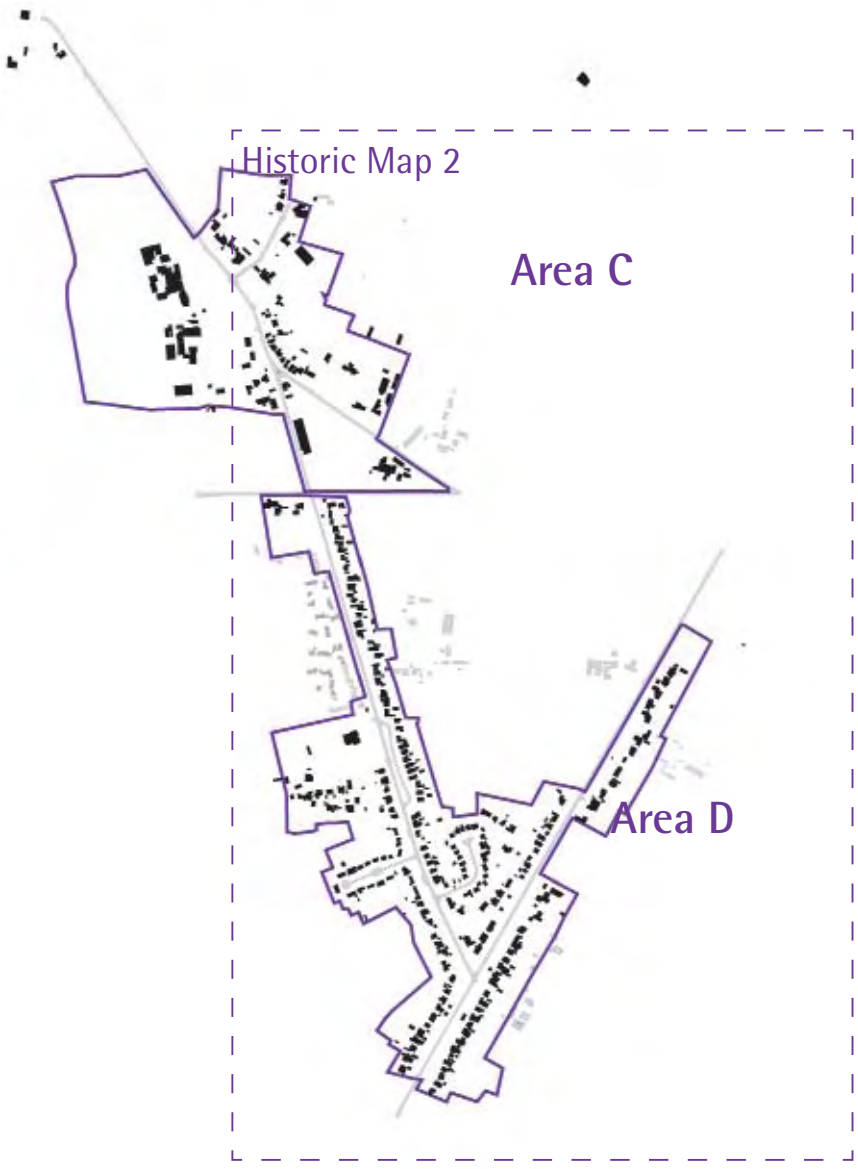
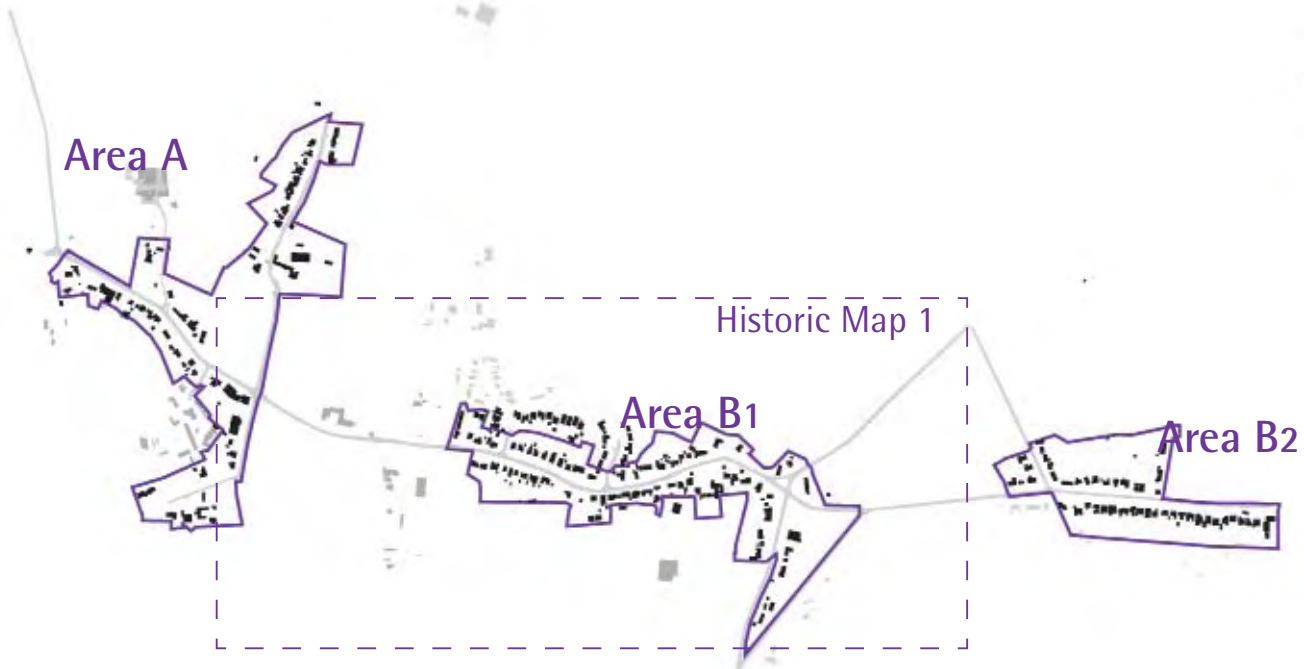
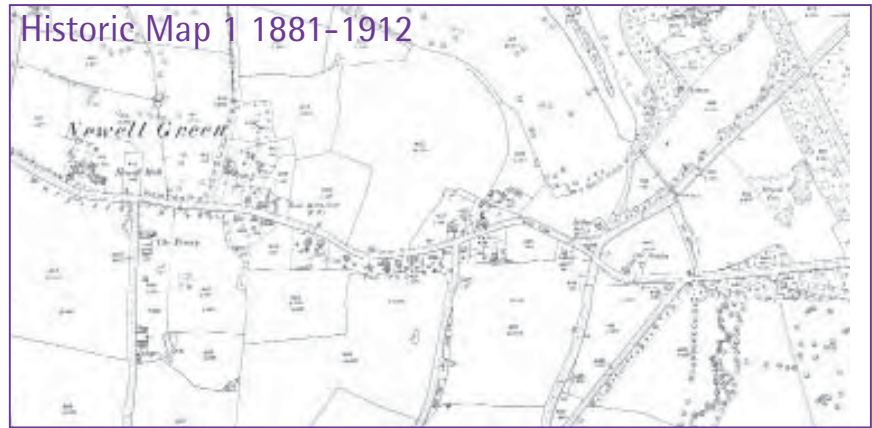
Area F: Winkfield

- Winkfield is concentrated around St. Mary's Church and the White Hart PH;
- The character of the remainder of the settlement is defined by houses set within large plots. These are scattered throughout the area and generally do not follow a coherent structure; and
- At the eastern end, plot sizes become smaller and houses are set closer to the street edges, creating a sense of arrival.

Area G: Cranbourne

- This character area has similar characteristics to character area B. However it is a larger settlement and it contains a significant number of other, non residential uses;
- The development structure also varies more than in the smaller settlements;
- In the north the development density is higher, with small cottages and some flatted blocks. This is the area where a variety of uses are located; and
- Towards the southern end plot sizes become larger and houses are set back from the street.





Landscape Setting

Area A: Newell Green

- Newell Green is typical of the cluster settlements which characterise this landscape. Field ponds are a feature of the area;
- Rolling landscape dissected by the Cut watercourse;
- Very narrow (250m) open rural gap between Newell Green and Bracknell to the south; and
- Visually separated from the urban edge of Bracknell by tree cover.

Area B: Warfield Street B1, Hayley Green B2, Brock Hill B3, Lovel Road B4

- The villages of Warfield Street and Hayley Green lie within the Warfield Open Clay Farmlands (Entec 2006). The landscape is characterised by parkland and ornamental planting; oak woodlands, tree cover along the watercourses and hedgerow trees;
- The villages are typical of the dispersed linear settlements which characterise this landscape. Field ponds are a feature of the area;
- Rolling landscape dissected by Bull Brook watercourse;
- Very narrow (350 – 200m) open rural gap between the villages and Bracknell to the south;
- Visually separated from the urban edge of Bracknell by tree cover;
- The villages of Brock Hill and Lovel Road lie outside of the Entec study. They however sit within the Maidens Green Open Clay Lowland (BLCA 2003) north of the B3034 road; is characterised by its intimate and intact rural character with loose linear dispersed settlements as at Brock Hill and Lovel Road; and
- The Bracknell Settled Farmlands (BLCA 2003) lie to the south of the B3034 road and are characterised by the strong urban influences, mitigated by the wooded shelterbelts and remaining farmed landscape.

Area C: Winkfield Row North

- Winkfield Row North is typical of the dispersed cluster settlements which characterise this landscape. Field ponds are a feature of the area;
- Rolling landscape dissected by the Cut watercourse;
- Visually separated from the urban edge of Bracknell by tree cover and forest and heaths of Warfield Park;
- Very narrow (100m) open rural gap between Winkfield Row North and Winkfield Row South;
- A strong contrast in settlement form and character with Winkfield Row South, which was classified as 'urban' in the Entec study;

- Regular long rectangular field pattern east of the village still in evidence in plot pattern; and
- Self contained settlement enclosed by extensive parkland and field system.

Area D: Winkfield Row South

- The character area lies on the transition between two landscape character areas: Winkfield Row Open clay Farmlands (Entec 2006) to the east, and Chavey Down Wooded Clay Farmlands (Entec 2006) to the west;
- In contrast Chavey Down Wooded Clay Farmlands is generally wooded with localised areas of pasture, although the planting pattern elsewhere is very similar to Winkfield Row Open Clay Farmlands. It acts as a transition between the forests and heaths of south Bracknell and the clay farmlands of the north. A tributary of the Cut flows north to south – parallel to the character area;
- The land rises gently southwards in the area to a high point at 85m AOD;
- The settlement pattern is typical of the Chavey Down Wooded Clay Farmlands, with a linear form (composed of individual residences) until the estate development to the west was built;
- The character area is barely separated from Winkfield Row North, except by the B3034 road, but has a very different form and character to Winkfield Row North;
- The area is flanked in the north west by a large modern estate but in the south west it retains a close relationship and contrast with the wooded landscape;
- The south east of the area is heavily influenced by the mixed woodland which comes up to, and extends as tree lines, into the area; and
- These trees separate the area from the Golf Course with the overall consequence that the area is orientated to the farmed landscape to the north.

Area E: Winkfield Street/Maidens Green

- This character area is excluded from the Entec study as it is in the Green Belt. It lies within the Maidens Green Open Clay Lowlands (BLCA 2003). The area is characterised by its intact and intimate landscape which includes the survival of historic landscape features and woodland;
- The loose linear settlement form of Winkfield Street is typical of this landscape character;
- The open area between Winkfield Street and Winkfield Lane contains the remnants of a moat and an interesting pattern of fields and woodland. This area is an important setting to the area and is of historic significance;
- The area is separated from Winkfield to the east and Brock

hill to the south west by narrow but well-defined open gaps;

- The countryside to the north, east and west is largely free of built form, except for the scattered villages, hamlets and isolated farms and houses. To the west there are larger more industrial agricultural units;
- The area is flat lowland.

Area F: Winkfield

- This character area is excluded from the Entec study as it is in the Green Belt. It lies within the BLCA Maidens Green Open Clay Lowlands. The area is characterised by its intact and intimate landscape which includes historic landscape features such as the field pattern;
- The loose linear settlement form of Winkfield is typical of this landscape character;
- The village is surrounded by medium to large fields with thin hedgerow boundaries but the village character edge itself is well defined by hedgerows (with some exceptions);
- The area is separated from Maidens Green to the west by a narrow but well-defined open gap;
- The surrounding countryside is largely free of built form, except for the scattered villages, hamlets and isolated farms and houses;
- The area is flat lowland; and
- Important physical and visual links with the surrounding countryside.

Area G: Cranbourne

- The character area is excluded from the Entec study as it is in the Green Belt. It lies within the Maidens Green Open Clay Lowlands. The area is characterised by its intact and intimate landscape which includes the survival of historic landscape features and woodland;
- It adjoins the Windsor Great Park Royal Forest. It is characterised by extensive mixed woodland which clearly defines the north eastern edge of the village;
- Cranbourne is a very good example of the typical loose linear villages of the Maidens Green Open Clay Lowlands with generous gaps between the linear built form which extends for some distance along North Street;
- An extensive mobile park lies between North Street and Chapel Hall. The layout of this park is not characteristic of the area but due to its built form it is largely unobtrusive. Views of the Hall with its woodland backdrop can be still enjoyed from Church Lane over the homes;
- The large scale office grounds dominate the centre of the village. Although they are outside of the character area, any change here would have a significant effect on the village; and
- The surrounding landscape is a mix of farmland with large farmsteads and equestrian training areas and paddocks.



1 Tree cover along watercourses



2 Landscape separation around Newell Green.



3 Winkfield Row Open Clay Farmland



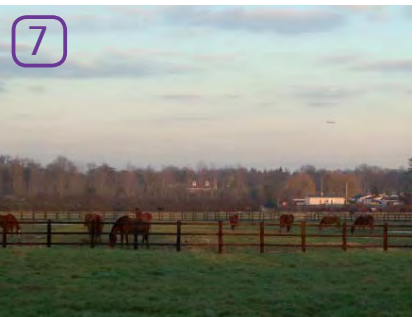
4 Land to south east of Winkfield



5 Large grounds east of Lovell Street.



6 Dense hedgerows lined Chawridge Lane (area E)



7 Open land to the north west of Cranbourne

The village lies within the Warfield Open Clay Farmlands. The landscape is characterised by parkland and ornamental planting; oak woodlands, tree cover along the watercourses and hedgerow trees.



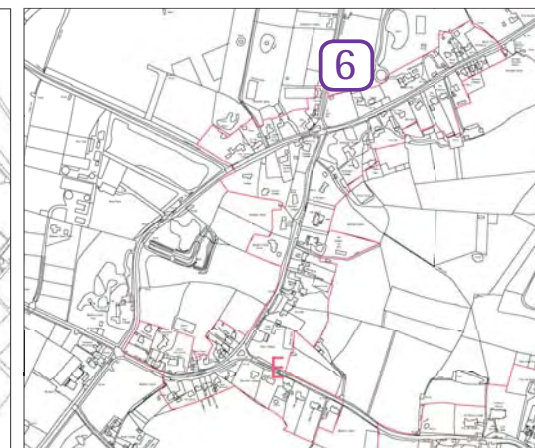
Physically separated from the Hayley Green, open landscape, Newell Hall, Warfield Priory.

The landscape of Winkfield Row Open Clay Farmlands is characterised by pasture, for horses and stock rearing, with parkland and ornamental planting in the grounds of large residences. Small oak woodlands, tree cover along the watercourses and hedgerow trees are also present

The village lies within the Winkfield Row Open Clay Farmlands. The landscape is characterised by pasture, for horses and stock rearing, with parkland and ornamental planting in the grounds of large residences. Small oak woodlands, tree cover along the watercourses and hedgerow trees are also present



Ascot Place Grade II* historic park and garden lies south west of Lovell Road. The parkland area closest to the village is laid out as fields with tree belts to the boundaries. Part of this tree belt frames the western entrance to Lovell Road.



Foliejohn Park lies to the north. Although not within the park boundary, the area has remnants of park features: the dense hedgerow lined Chawridge Lane leading to the main house via Chawridge Manor Farm; remnants of a grass track between Bishops Lane and Chawridge Lane leading north west from a pond; and remnant field patterns of potential historic interest



The land to the south east was not included in the Entec study. The BLCA includes this in the Ascot Settled Farmlands which is characterised by mixed coniferous and deciduous woodland. London clays are overlain with Bagshot Sands, giving a transitional, more heathy appearance and composition to the landscape

Area A: Newell Green

Newell Green is a small settlement that is based around the Warfield Memorial Ground and remnants of a Victorian hamlet.

Landscape Character:

- Strong visual and physical links with the surrounding countryside which extends into the heart of the village;
- Views out from the centre to the wider landscape (eg Forest Road, Abbey Place, Watersplash Lane;)
- Open landscape within the Cut/Forest Road/Osborne Lane triangle;
- Bridges over the Cut form gateways to the village; and
- Varied plot size – medium to large.

Townscape Character:

- Generally development is located either on one side of a street or the other, allowing for open views and a rural setting;
- The older development consist of smaller cottages, and some larger houses fronting onto Forest Road and Newell Green Road;
- Fairly consistent building lines;
- The arrival points into Newell Green are marked by public houses at each end of the settlement.
- Warfield Memorial Ground forms the focal point for this settlement;
- Local landmarks include the covered gate at the entrance to Warfield Memorial Ground, the Cut and view to The Lodge;
- Development around Osborne Lane creates a distinct pinch point; due to the siting and boundaries of 'The Old Gables'.
- Forest Road, between the Cut and Osborne Lane, forms the core of the village; and
- Tight knit centre with larger plots towards the edges abutting the countryside.

Built form:

- Predominately detached or semi detached houses, many of which date back to Victorian times;
- A few larger farms lie at the outer perimeter;
- Materials are predominately red brick and white render, with the exception of Tudor Cottage and farm buildings that are clad in dark timber; and
- Newer development on Osborne Lane is consistent with historical precedents.

Vegetation and Hard Landscape:

- Tree planting along the Cut;
- Deciduous hedgerows and tree planting along the roadsides (remnant of historic planting);
- Remnants of orchard planting (eg Scotland House);
- Village perimeter hedgerows; and
- Brick parapet to the Osborne Bridge.

Boundary treatment:

- Boundary treatment is consistent with hedges and low brick walls, particular around gates and in between plots;
- The height of hedges varies, with higher ones north of Forest Road and east of Osborne Lane;
- Significant garden wall to east of New Inn;
- Low post and rail fences; and
- Brick walls and piers.

Summary:

Overall the area has a distinct and fairly consistent character. However, this is undermined by the inappropriate use of close boarded fencing on new development and the loss of roadside tree planting. It should be noted that the potential future development of open fields around the edges of Newell Green is likely to change the existing character.

Recommendations

- Development along the main streets should most appropriately be in the form of semi detached or small terraces of houses (2 storeys high);
- Infill development at the rear of plots could differ slightly in character without impacting negatively on the settlement. However, existing frontage conditions should be retained;
- Development within the village fringes should retain the looser, more open and less formal development pattern;
- Maintain gateway feature of the Cut bridges;
- Retain roadside and waterside hedgerows and hedgerow trees;
- Reinforce cluster settlement pattern of the village;
- Front boundaries to be formed by hedgerows or low brick walls; side boundaries linking to older property to use brick walls; rear boundaries to fields to be formed by hedgerows;
- Retain very open character of the triangle in the centre of the village;
- New development should retain and reinforce tree and hedgerow planting in keeping with the local landscape pattern; and
- Boundary treatments should be in line with existing boundaries as there is a risk of loss of locally distinctive road frontage.



Forest Road



Forest Road is enclosed on either side by hedgerows



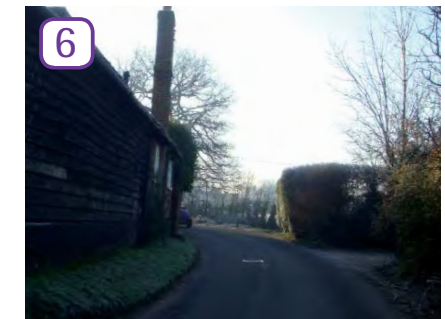
Victorian houses either of red brick or white render



Gatehouse provides local landmark at the junction of Forest Road and Osborne Lane



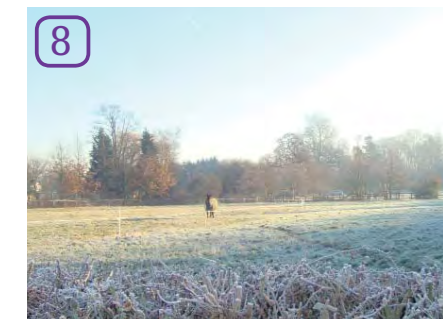
Boundaries are consistent, hedges with low red brick walls around gates



Distinct setting of The Old Gables on Osborne Lane



High brick walls between plots



View across to Osborne Lane

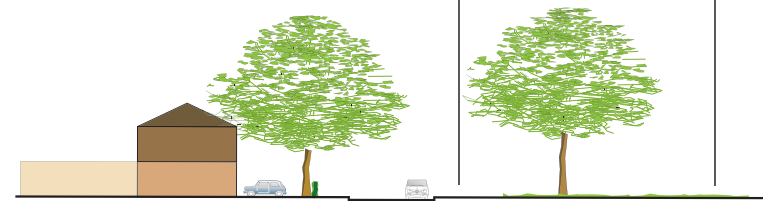


Individual trees act as focal point

Typical plan








Open fields

Newel Green



Typical section



-  Character area boundary
-  Consistent boundary treatment and alignment
-  Hedgerow and boundary planting
-  Open Space
-  Point of particular townscape quality¹
-  Key views
-  Local Landmark

¹ 'Townscape', in contrast to landscape describes the grouping of buildings, taking into consideration setting, scale and massing.

Area B: Warfield Street, Hayley Green, Brock Hill, and Lovel Road

The above settlements have been combined into a single character area. Although each has distinct features, the overall character is set by the ribbon development, with houses on both sides of the street. Some of the villages are more coherent than others, because all have been the subject of redevelopment and backland infill in the form of cul-de-sacs. Variations between settlements are also due to changes in landscape character, topography and road alignment.

Landscape character:

- Linear development with modern spurs off Warfield Street;
- Views out to the wider landscape (eg Newhurst Gardens, Toogood Place, Lovel Road, The Limes);
- Settlements framed by woodland cover;
- Mature hedgerows/tree lines mounted on banks adjacent ditches;
- Open frontages to older property (maybe due to the loss of front garden boundaries to allow for parking); and
- Often the end of the village coincides with Forest Road being crossed by long straight roads leading into north Bracknell (eg Warfield Street/Jigs Lane North, Forest Road/Malt Hill, Hatchett Lane/Lovel Road).

Townscape:

- The townscape character is one of ribbon development with houses on both sides of the road;
- Small to medium scale plots, becoming larger in modern developments; and
- Some of the villages have landmark elements, such as a school, pub or a feature tree.

Built form:

- Building lines are generally fairly consistent;
- Development form varies, with predominately detached houses;
- No consistent architectural approach, with many plots having been developed at different times;
- Houses are generally set behind front gardens of varying depth; and
- Densities vary within settlements, depending on location.

Vegetation and hard landscape:

- Deciduous and evergreen hedgerows to roadside; and
- Significant individual roadside trees.

Boundary treatment:

- Boundary treatments are generally low walls, although quality and consistency varies; and
- Boundary lines are generally fairly consistent.

Summary:

Although the character is consistent between all the settlements, they vary in quality and coherence. In addition to the shared characteristics, each settlement has its own distinct features as follows:

B1 Warfield Street

- Junction between Warfield Street, Jigs Lane North and Bracknell Road forms a distinct arrival point;
- Large tree in centre of small green creates landmark; and
- To the east houses densities are lower with houses in larger plots.

B2 Hayley Green

- Regular plot pattern on plan, but due to variation in house types it is not apparent on the ground; and
- New development at western end does not relate well to the prevailing settlement character.

B3 Brock Hill

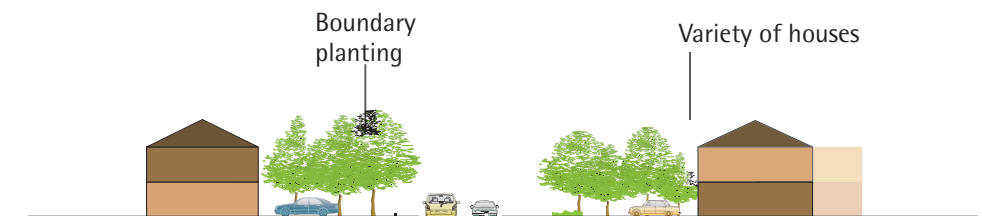
- Predominantly Victorian houses;
- Houses set close to street;
- Most front gardens are paved over and used for car parking; and
- Street scene dominated by cars.

B4 Plaistow Green

- School is the dominant building and creates local landmark;
- Varied plot and development pattern; and
- Slightly tighter sense of enclosure than other settlements.



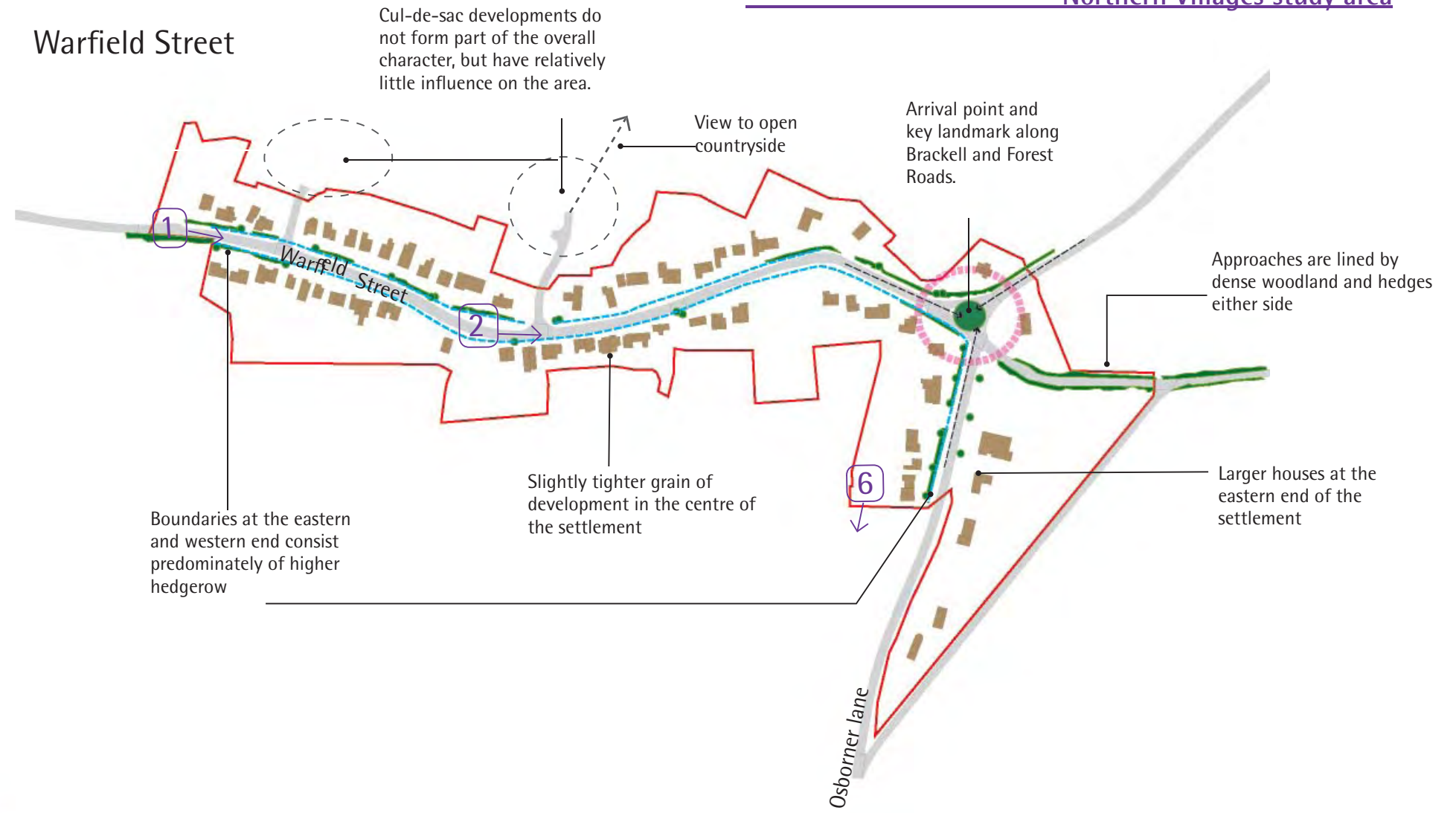
Typical plan of ribbon development



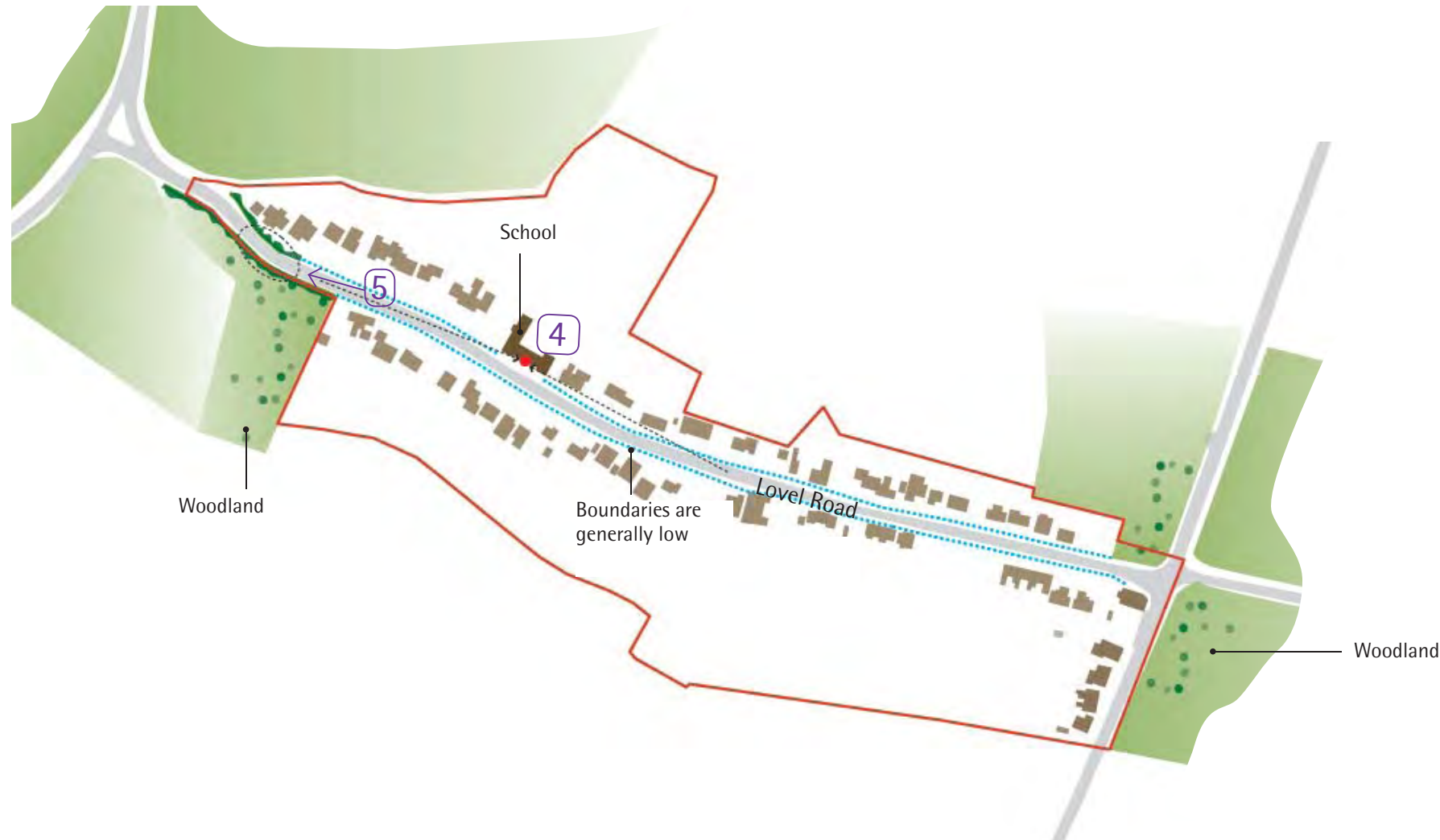
Typical section

Warfield Street

-  Character area boundary
-  Inconsistent boundary treatment
-  Hedgerow and boundary planting
-  Open land
-  Feature tree
-  Buildings
-  Node of particular townscape quality
-  Key views
-  Local Landmark



Level Road



¹ 'Townscape', in contrast to landscape describes the grouping of buildings, taking into consideration setting, scale and massing.

¹ 'Node', in terms of urban design describes an important intersection of routes/streets or a central connecting point..

Recommendations:

- Settlement boundaries should be clearly defined to retain the character of these areas where new development areas are not proposed;
- Infill development on backland sites in the form of cul-de-sacs must be designed, so that any impact on the street scene is minimised;
- Architecture may vary, although existing building lines should be maintained and boundary treatments provided;
- Retain close relationship between settlement edge and wooded setting;
- Rural gaps between individual settlements should be retained and reinforced with tree and hedgerow planting in keeping with the local landscape pattern;
- Alternative use of marginal farmland for recreational green infrastructure³ in areas close to Bracknell should be considered; and
- New development areas should retain and reinforce tree and hedgerow planting in keeping with the local landscape pattern.



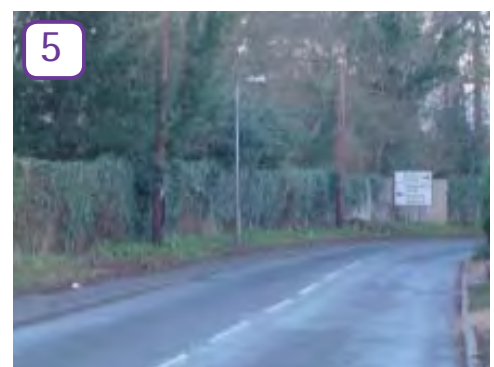
1 Lower density part at the western end of Warfield Street. Development is set between mature trees and behind high hedges



4 School in Lovel Road



2 A more urban settlement form in the centre of the settlement along Warfield Street



5 Approach into Lovel Road



3 In Brock Hill front gardens are paved over and used for car parking.

³Footnote: 'Green infrastructure' is a term used to describe the creation of open landscapes which link into other open landscapes and provide benefits such as landscape features, ecological habitats, protection to historic features, buffers to urban areas and recreational opportunities.

Area C: Winkfield Row North

Landscape Character:

- Conservation Area. The Conservation Area Appraisal should be referred to for a detailed assessment of the area;
- Form and layout of the village has not significantly altered since the 19th century (OS epoch 1 1843 to 1893 historic mapping);
- Grove Lane is an ancient routeway leading to an historic pattern of long, regular shaped, rectangular fields;
- Grounds of Lambrook Haileybury School brought into character area as they have an important influence of the village form and character;
- Recreation ground has dual use as a southern focal point to the village and as open space separating Winkfield Row South from the character area; and
- Views out to the wider landscape from Winkfield Row.

Townscape:

- Tight grain of development around the junction with Winkfield Row;
- The view towards St Mary's Primary school marks the arrival in Winkfield;
- The character of Winkfield Row North is set around a small Victorian hamlet that is juxtaposed by the large institutional buildings and grounds of Lambrook Haileybury School;
- The small space in front of the Don Beni restaurant is important as it allows for activity and creates a sense of a village centre;
- Strong contrast between tight knit central core and large plots and grounds elsewhere in the village; and
- Strong focal point and village centre – buildings, triangular open space – framed by tree groups to the south and north west.

Built form:

- Predominantly small Victorian houses and large detached houses;
- The domestic scale of dwellings is subservient to the country house scale of the school buildings;
- Detached houses vary in style, build date and height;
- Predominant building material is red/orange brick and white render;
- Few of the buildings have been redeveloped and the majority of historic development remains; and

- The development north east of the recreation ground is of limited definable character and adds nothing to the existing character.

Vegetation and hard landscape:

- Tree lines on banks above ditches;
- Verges and low neat hedgerow to the recreation ground;
- Dominance of deciduous tree cover in the form of parkland trees, tree groups, roadside trees, mature trees in gardens (eg The Old Farm, Lambrook Haileybury School, Birley House, remnants of former orchards and tree planting west of Grove Lane);
- Ornamental shrub planting in parkland plots;
- Mature hedgerows demarcate field boundaries;
- Oak, beech, holly and firs predominate;
- Individual trees are important as part of a larger group as well as individual specimens;
- Both deciduous and evergreen hedges are common; and
- Ashlar limestone gate pier to Lambrook Haileybury School is an important landmark feature.

Boundary treatment:

- Other than in the central area there is no consistent building line with most houses set behind high walls or hedges;
- Streets are lined by hedges and tall trees;
- Significant brick boundary walls as at Birley House and along Grove Road.
- Low brick walls to cottage garden frontages; and
- Picket and post and rail frontage treatment.

Summary:

Overall the area is of positive character. It comprises a substantial number of historic cottages.

Recommendations

- New development should be in line with the existing tight grain of development;
- Any future development on existing school grounds must reflect the openness and protect the existing landscape character and mature trees;
- The area north east of the recreation ground (currently outside of study boundary) does not build on the existing character and Winkfield North could benefit from a redevelopment. Any future proposal should create a higher degree of enclosure, in line with 2 storey houses immediately north of the recreation ground (within study boundary);
- Other areas that might potentially be developed in the future are cluster of gardens and small fields, west of Grove Lane. Development would need to adhere to the surrounding cottage character and for example a large house behind walls will be unsuitable in this location;
- Conservation and enhancement of the setting to the Conservation Area is particularly important in this case in order to retain the landscape/townscape qualities of the village. Reference should be made to the Winkfield Row Conservation Area Management Proposals 2008;
- Retain group TPO to Lambrook Haileybury School
- Retain the open parkland character to the school frontage to Winkfield Row;
- Rural gaps between individual settlements should be retained and reinforced with tree and hedgerow planting in keeping with the local landscape pattern;
- Reinforce open gap between the two parts of Winkfield Row through appropriate tree planting to the recreation ground and school grounds;
- Demands for new school facilities should not be allowed to erode the open parkland character of Lambrook Haileybury School grounds; and
- The majority of area is covered by Conservation Area policy.



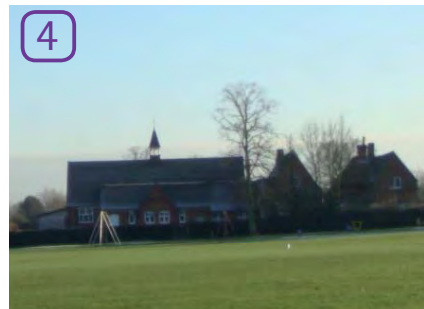
1 High quality townscape in the centre of Winkfield Row North.



2 School building set between woodland.



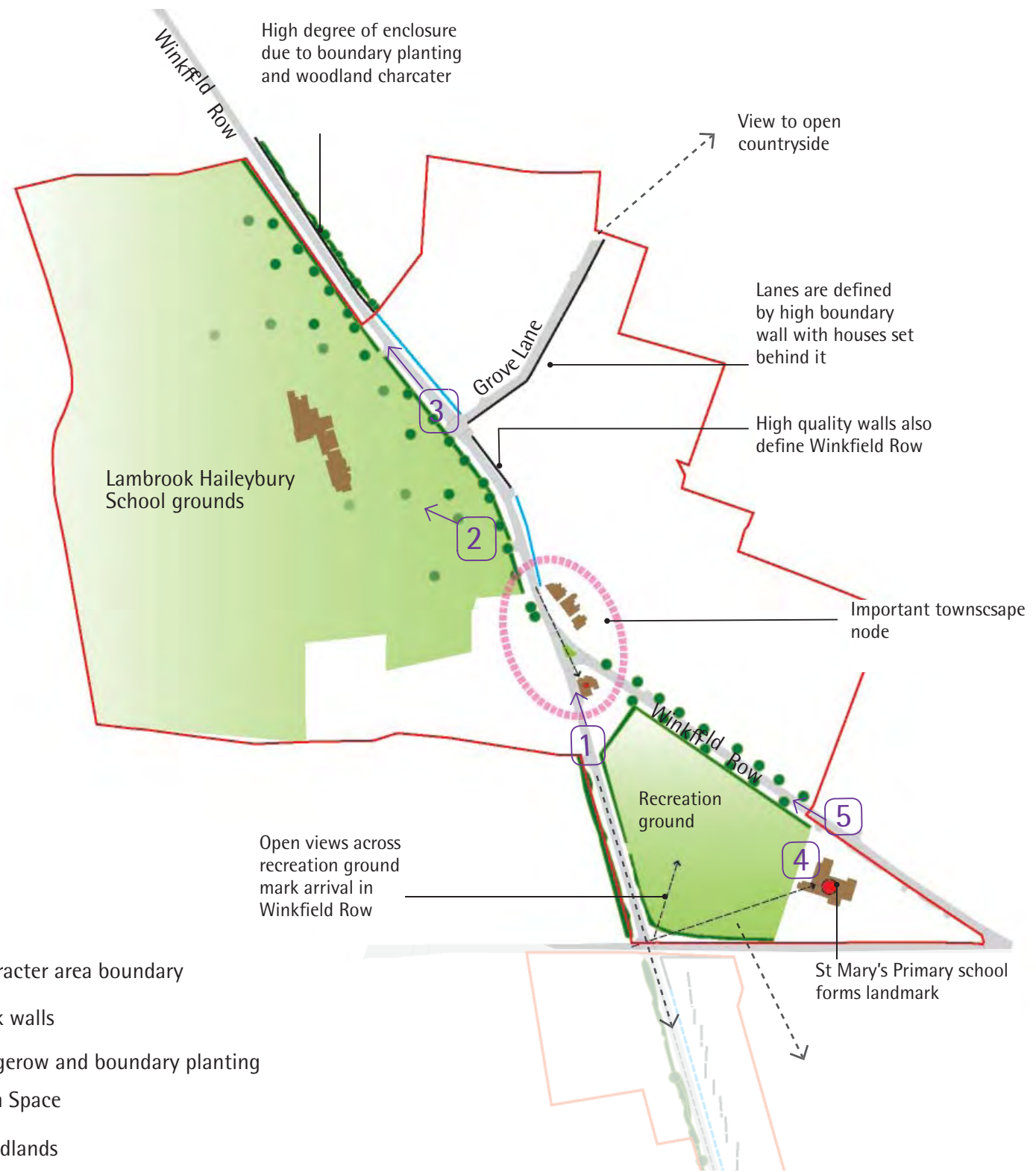
3 Hedges and walls provide relatively high degree of enclosure.










4 St Mary's Primary school



5 Street to the north of the recreation ground is lined by tall trees and a varied development character.



-  Character area boundary
-  Brick walls
-  Hedgerow and boundary planting
-  Open Space
-  Woodlands
-  Buildings that particular add to the character
-  Node of particular townscape quality
-  Key views
-  Local Landmark

¹ 'Townscape', in contrast to landscape describes the grouping of buildings, taking into consideration setting, scale and massing.

¹ 'Node', in terms of urban design describes an important intersection of routes/streets or a central connecting point..

Area D: Winkfield Row South

In character this area is a linear development with ribbon development on both sides of the road. The character of Chavey Down Road is defined further by the topography and long views.

Landscape Character:

- Chavey Down Road is characterised by a combination of verge, ditch line and trees from the B3034 road to Mushroom Castle;
- The street scene opens up as Chavey Down Road rises to higher ground;
- In contrast Locks Ride is enclosed by substantial mature trees either side of the road. Enclosure is reinforced by the predominance of holly and laurel understorey;
- The south eastern tree line boundary to property along Lock's Ride follows a tree belt dating from the early 19th century;
- A linear island landscape feature with a hedgerow (which may be a remnant of a former hedgerow boundary) forms a local focal point on Chavey Down Road. This element is picked up in the open space at the entrance to Osmans Close;
- Mushroom Castle dates back to the early 19th century and was at that time the only house on Chavey Down Road. This may account for the narrow enclosed character of this lane which leads into the adjacent fields. The contrast between the ribbon development and open landscape is a feature of the area;
- Locks Ride is characterised by large gardens with houses set well back at varied distances from the road, although the building line becomes more uniform in the south west; and
- Views through the trees along the north side of Locks Ride to the fields.

Townscape:

- Ribbon development of detached houses;
- In the northern part, the built frontage exists only on the eastern side with the west being defined by hedges;
- Further in the south development encloses the street on both sides creating a slightly more urban sense of character;
- The linearity of the main road is broken by a number of smaller townscape nodes. These are: Carnation Hall, although not a building of high quality, the open space and views are an important feature; and the junction of Osman's Place;

- Locks Ride is less urban in character and of lower density, with larger houses and more spacious plot sizes. Houses are also set behind high boundary planting, so that properties can only be seen in glimpsed views; and
- Long views extend down Chavey Down Road and Locks Ride.

Built form:

- Variety of houses, although fairly consistent depth of front gardens;
- Generally development form and architectural language are of little consistency; and
- Osman's Place and other small cul-de-sac developments are consistent in themselves in terms of architecture, boundary treatment and overall form.

Vegetation and Hard Landscape:

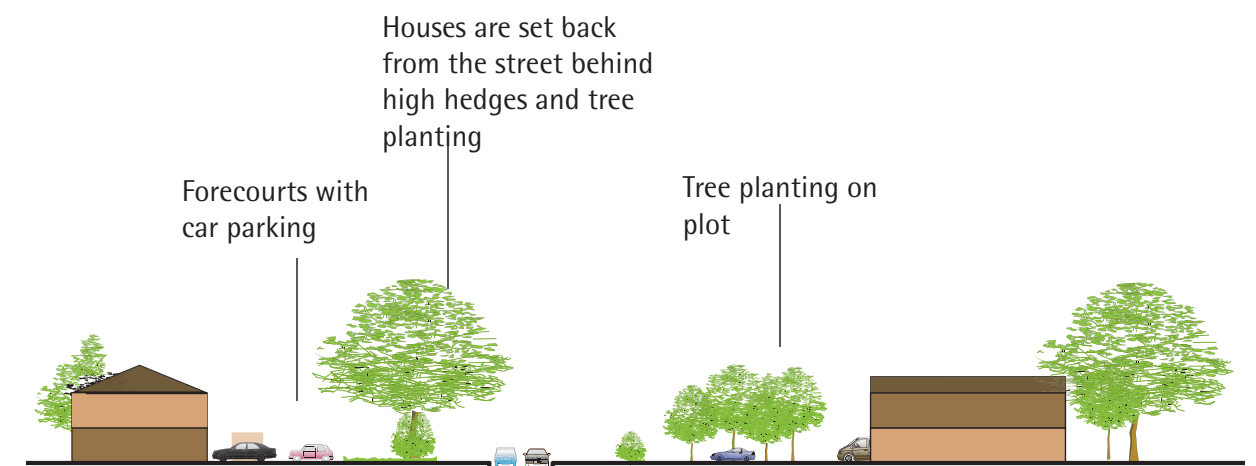
- The tree planting in the north of the area is reminiscent of former road/field boundaries and predominantly deciduous;
- Moving south, the tree cover thins to include birch and pine north of Locks Ride; and
- Locks Ride is dominated by mixed coniferous, evergreen and deciduous planting.

Boundary treatment:


- Variety of boundary treatments.



Typical plan showing development along Locks Ride



Typical section showing development on Locks Ride

-  Character area boundary
-  Brick walls
-  Hedgerow and boundary planting
-  Verges
-  Inconsistent boundary treatment
-  Tree canopy within plots
-  Buildings that particular add to the character
-  Buildings of consistent architectural language and material
-  Key views
-  Open Space



Summary:

Overall, the area is varied in terms of landscape and architecture. The most significant characteristic is the ribbon development on both sides of Chavey Down Road and along Locks Ride.

Recommendation:

- Strongly defined frontage along Chavey Down Road is important and proposed backland development should ensure that it does not impact negatively on the existing street scene, i.e. minimise gaps that allow access to rear;
- A variety of architectural approaches would be acceptable in areas that are currently less consistent, but the overriding building line should be retained;

Major new estate development could further erode the traditional linear settlement pattern. In this respect the development on Osmans Close is more in keeping than the Carnation Drive development. New large developments should relate well to the existing street pattern and not impact negatively on the existing street character;

- Redevelopment should not erode the street landscape and the sense of wooded enclosure permeating into the settlement;
- Over-development could lead to the loss of glimpses into open fields or to woodland, therefore some visual connectivity with long views into the surrounding landscape should be maintained;
- In new development, create new long views to the surrounding landscape ;
- Retain and enhance the subtle difference in the landscape between the northern and southern parts of the area including the wooded and tree lined western and southern boundaries;
- Retain the linear settlement pattern in any new development;
- Maintain the contrast in settlement pattern and landscape details between Winkfield Row North and Winkfield Row South; and
- Rural gaps between individual settlements should be retained and reinforced with tree and hedgerow planting in keeping with the local landscape pattern.



Planting along Chavey Down Road



Small space at the entrance to Osman's Close



Consistent development and architectural language around Osman's Close



Small cottages opposite Osman's Close

Area E: Winkfield Street/Maidens Green

The character of this area is defined by large houses that are set behind high boundaries.

The area has a green feel to it with hedges, and tall trees throughout plots and along boundaries.

Landscape Character:

- Lack of strong cohesion in the landscape of the street scene;
- Several walled frontages of value;
- A hedgerow with ditch characterises Winkfield Street;
- The Vine and its little open space, and the frontage to Tory Hall both form focal points;
- Strong rural character still retained along Winkfield Street;
- Mix of very large and small plots with well defined; and vegetated rear boundaries and hedgerow side boundaries.

Townscape:

- Individual houses set in large plots;
- This area does not have a distinct arrival point and development blends into the wider landscape;
- The gatehouse of Tory Hall forms a distinct node along Winkfield Street. In contrast to other buildings it is set at the back of pavement and creates a pinch point; and
- Streets are of a rural character without pavements, but verges and/or ditches.

Built form:

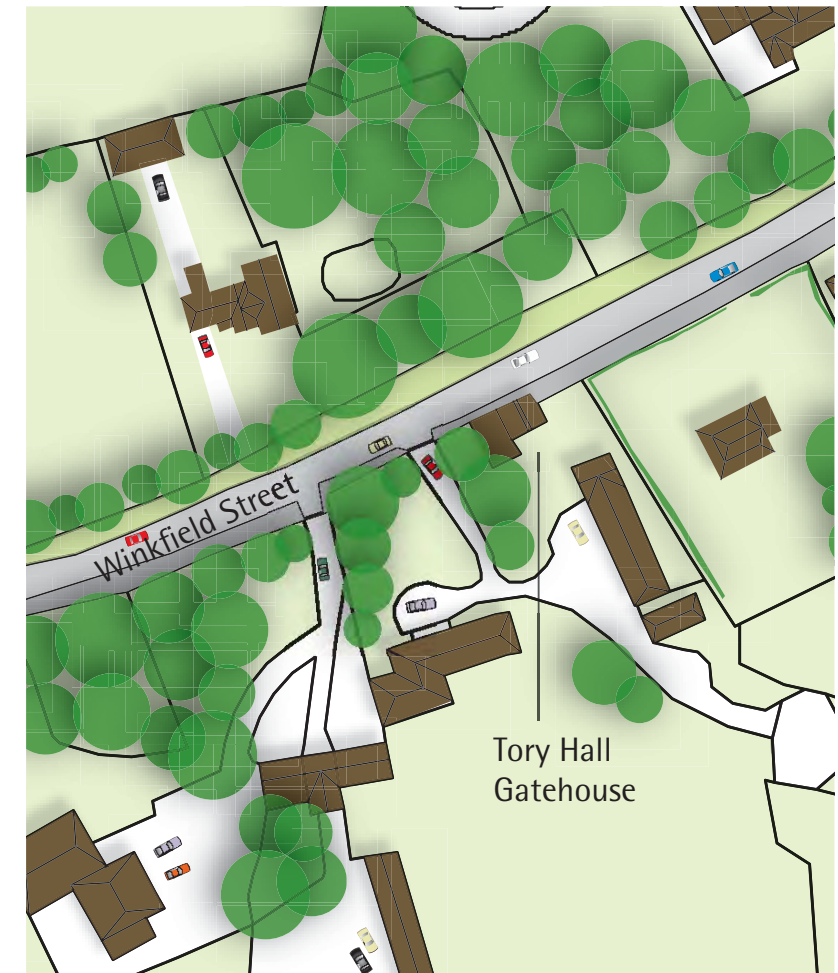
- Houses vary in terms of period and architectural language, however overall they are similar in size and massing;
- Along Maidens Green houses are smaller and a tighter development pattern prevails. Here buildings are also set closer to the street in the form of frontage development (houses set behind smaller front gardens). In this part of the area, a more continuous building line is characteristic; and
- Streets are dominated by hedges and trees, with only the gables of houses visible beyond.

Boundary treatment:

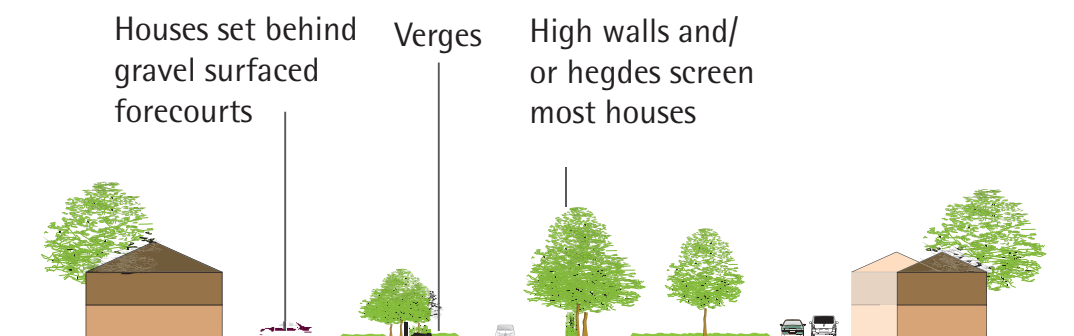
- Boundaries are either red brick walls or hedges, depending on location they vary in size, although most are high enough to block views towards the property;
- Most properties are screened off from the road and are set behind high security gates; and
- Brick walls and a brick and flint example at Newington House.

Vegetation and Hard Landscape:











- Small orchard style gardens at key locations: south of Sunny Corner; at Clare Cottage and Quillets;
- Hedgerow with important street trees on Winkfield Street at the core of the village;
- Clumps of trees in gardens;
- Strong high hedgerows down Chawridge Lane;
- Narrow verges;
- Ditch crossings; and
- Granite sett edging to highway.

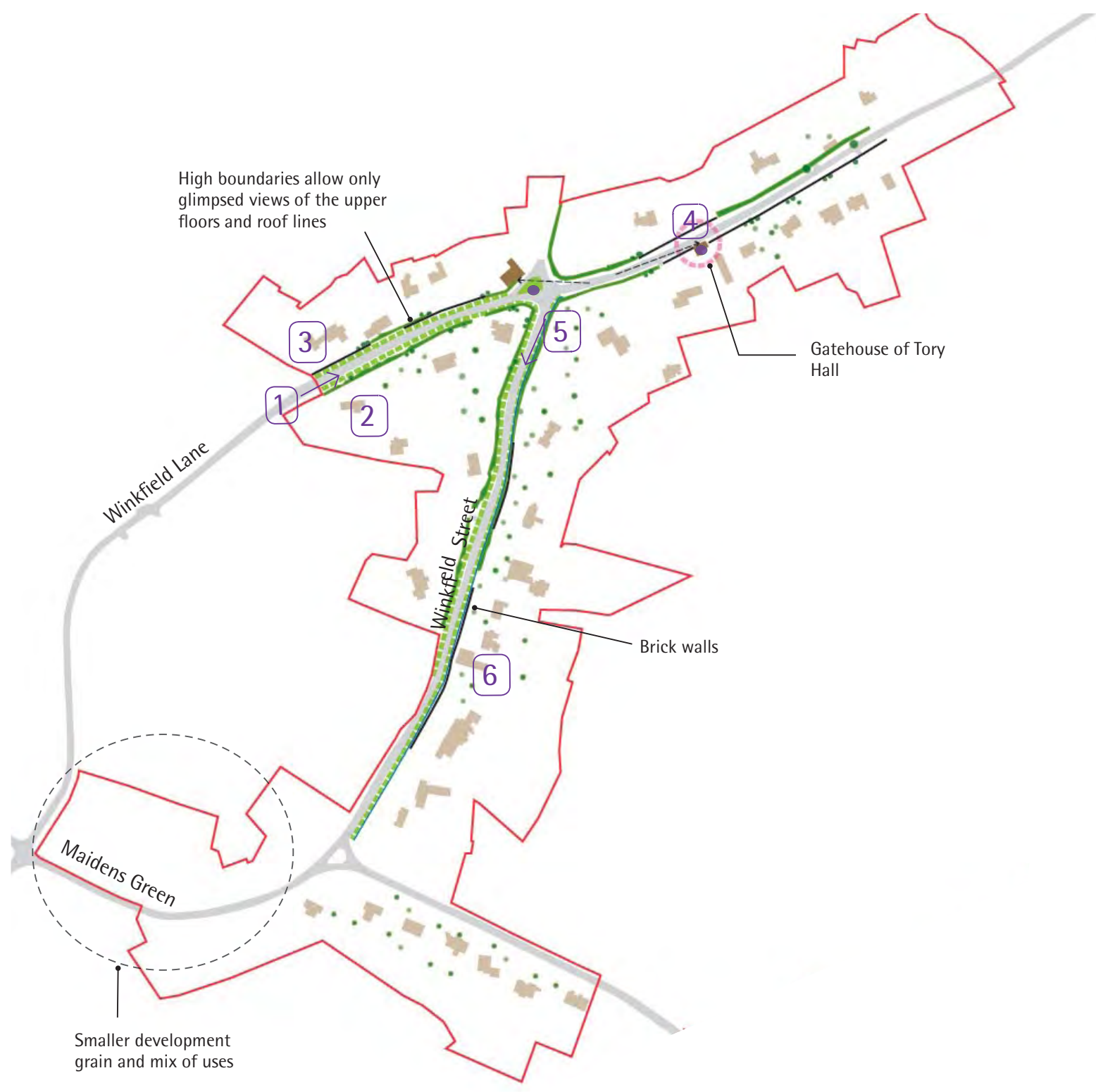


Plan and section showing detail characteristics of Winkfield Street which is typical for this area.



Section showing detail characteristics of Winkfield Street .

-  Character area boundary
-  Brick walls
-  Hedgerow and boundary planting
-  Verges
-  Inconsistent boundary treatment
-  Tree canopy within plots
-  Buildings that particular add to the character
-  Buildings of consistent architectural language and material
-  Key views
-  Focal point



Summary:

This area has a positive character throughout, although this is created predominately by the large plots, boundary treatments and landscape rather than the built development.

Recommendations

- Any development proposed in this area should be as spacious as the existing in the form of individual houses in large plots;
- There may be limited opportunities for some small scale mews development. This, however, should be subservient to the larger houses and not detract from the open character;
- It is appropriate for any development along Maidens Green to be relatively higher in density, with frontage development (houses set behind smaller front gardens) to enhance the specific character of this section of road;
- Maintain the high levels of tree cover in gardens and along roadsides and use of hedgerows as boundary features;
- A greater sense of cohesion should be created through sympathetic development and high quality appropriate external landscape treatment;
- Uncharacteristic landform in this flat landscape should be avoided;
- Protect the setting from intrusive large scale development;
- Conserve and enhance the historic setting and extant landscape features and undertake future historic research;
- Retain the loose linear characteristic of the settlement form;
- Rural gaps between individual settlements should be retained and reinforced with tree and hedgerow planting in keeping with the local landscape pattern;
- New development should be guided and fully informed of local distinctiveness. Otherwise they may damage locally significant landscape features and the settlement form; and
- Modern frontage treatments should not impact on traditional patterns (hedgerow with ditches, walls etc).



Character of Winkfield Street



Gables and roofs are visible beyond high boundaries



Tory Hall gatehouse



Rural character of Winkfield Street



Typical example of type and size of development in this area.

Area F: Winkfield

Overall the area has a natural feel to it with hedges, and tall trees throughout plots and along boundaries. The central development around the church is separated from the remaining built form by open fields that provide long views over the countryside.

Landscape Character:

- Much of the western part of the area lies within Winkfield Conservation Area. The Conservation Area Appraisal should be referred to for a detailed assessment of the area;
- Strong rural settlement character still retained throughout the character area;
- The focal point of the church sits on slightly higher ground from where the ground slopes gently in all directions;
- Important views out from Church Road and down St Mary's Lane to the open countryside;
- Principal viewpoint from outside the church, down the field opposite to the wooded hills at North Ascot;
- Dense tree lines extend in from the open countryside along plot side boundaries;
- Linear pasture fields extend into Church Road;
- Churchfield Lane survives as a tree lined access to the fields (shown on 1887 OS plan). Tree groups to the north of the Rectory are also survivals of the Victorian tree cover; and
- Remnants of ditches and ponds border the Rectory and continue west along Church Road.

Townscape:

- The most distinctive element of this character area is the area around the church with St Mary's Church, the churchyard and its cedar and the White Hart pub creating an important focal point;
- The narrow approaches from east and west, walls in the west and planting in the east, create a positive contrast to the sense of openness around the church;
- St Mary's Church, the churchyard and the dominant cedar tree and the White Hart PH create an important focal point;
- The approach from the west is defined by historic walls that create a high sense of enclosure.;
- Secondary focal point formed by Church Cottage and the woodland block opposite;
- Towards the eastern end houses become smaller and of lesser quality;

- Victorian lych gate set within low walls and memorial set within open space in front of St Mary's Church; and
- Great variety of plot size reminiscent of traditional rural hierarchy.

Built form:

- Houses vary in terms of period and architectural language, however overall they are similar in size and massing;
- The central area, including PH, church and two houses is of very high quality;
- Streets are dominated by high walls and hedges, with only the gables of houses visible beyond or behind high security gates; and
- Materials are predominately red brick and white render.

Vegetation and Hard Landscape:

- Tree lined boundaries, hedgerows with trees and woodland copses;
- Fields under pasture;
- A magnificent but very mature cedar situated to the front of St Mary's Church;
- Shaped yew in the churchyard;
- Prominent parkland like trees set at end of the linear fields
- Narrow grass verges in front of front garden hedgerows and hedges;
- Significant brick walls to Church Road, around the churchyard, the Rectory, Rectory Cottage;
- Parkland estate railings and post and rail fences; and
- Granite sett kerbs to highway and sett detailed drainage channel;
- Understated paving treatment which retains the rural character.

Boundary treatment:

- Boundaries are either red brick walls or hedges, depending on location they vary in size, although most are high enough to block views towards the properties; and
- Several walled frontages of high value.

Summary:

Winkfield is of a strong positive character and in townscape terms the area around St. Mary's Church it is of high quality. The contrasting structure between enclosure and openness creates a very distinct character.

Recommendations

- The spacious character should be retained and individual houses should be set in large plots;
- Around the church the higher degree of enclosure should be retained;
- Materials should relate to the surrounding character, i.e. red brick / white render;
- Dense boundary planting and high degree of enclosure should be retained at the approach into the central space;
- New development should be guided by either the Conservation Area Appraisal or a more detailed development brief so that they not damage locally significant landscape features and the settlement form;
- Retain key views out into the open countryside;
- Maintain the high levels of tree cover in gardens and along roadsides and use of hedgerows as boundary features;
- Maintain the linear fields as pasture;
- Protect the setting from intrusive large scale rural development;
- Conserve the historic setting and extant landscape features;
- Retain the loose linear characteristic of the settlement form;
- Rural gaps between individual settlements should be retained and reinforced with tree and hedgerow planting in keeping with the local landscape pattern;
- Additional single young atlas cedar should be planted to fill the role of the existing once it dies;
- Avoid suburban external detailing and excessive security fencing, gates or lighting;
- Avoid more industrialised agricultural or other 'countryside' developments that could adversely affect the setting of the area; and
- Modern frontage treatments should not impact on traditional patterns (hedgerow with ditches, walls etc).



1 Approach into Winkfield from the west is defined by high degree of enclosure and distinct character of walls.



2 Sense of openness in central area is enhanced by high degree of enclosure to the east and west.



3 High boundary planting encloses the street to the east of the church.



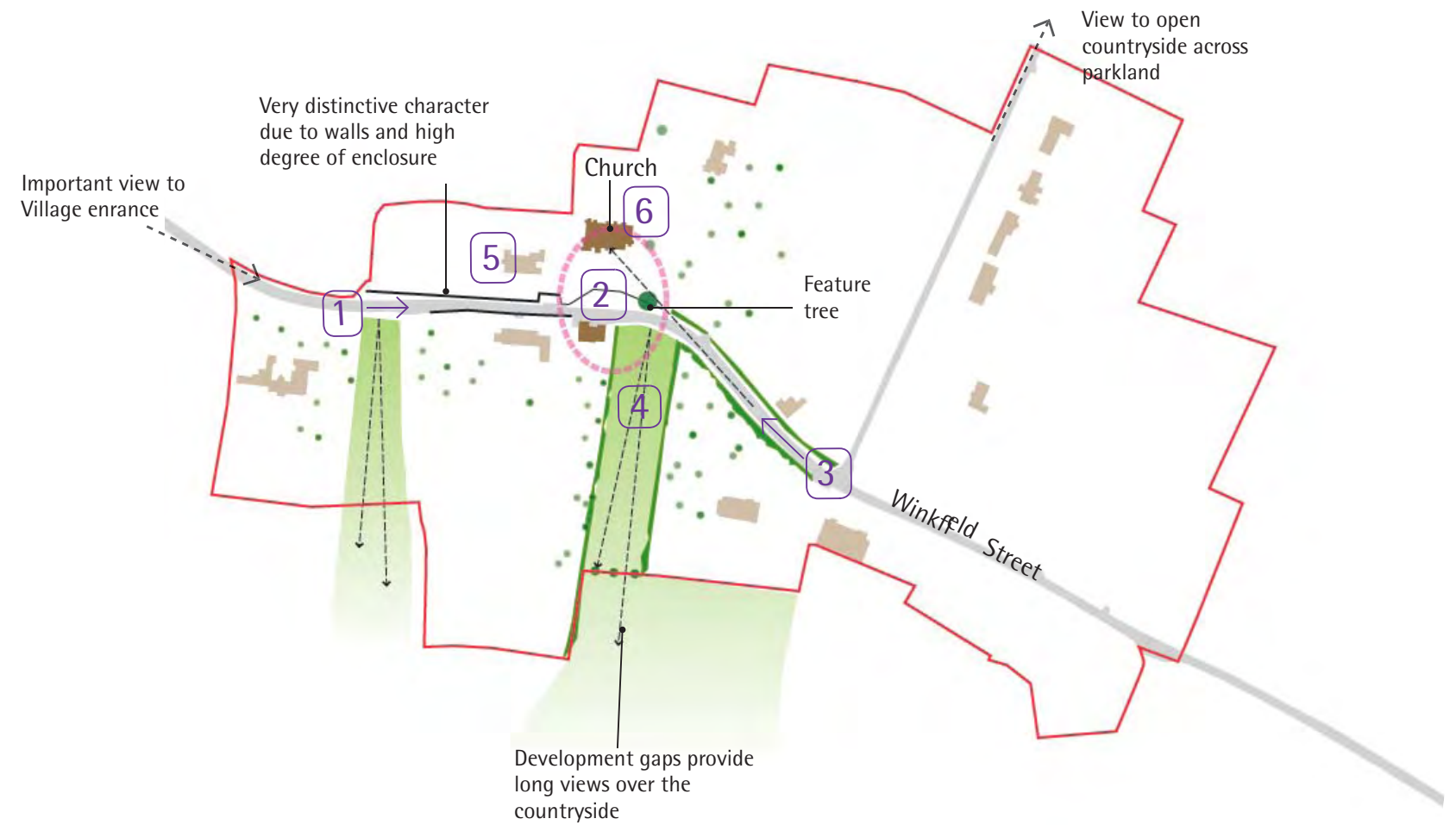
4 Development gap and distinct line of trees in distance



5 Typical example of type and size of development



6 Church



- Character area boundary
- Brick walls
- Hedgerow and boundary planting
- Verges
- Inconsistent boundary treatment
- Tree canopy within plots
- Buildings that particular add to the character
- Buildings of consistent architectural language and material
- Key views
- Open Space
- Focal point

Area G: Cranbourne

Cranbourne forms a character area in its own right, although it shares many characteristics with character type B. As before it is a strongly linear development form with variations on either side of North Street.

Landscape Character:

- Wide verges and houses set back behind hedgerows and trees on the west side of Crouch Lane;
- Hedgerow boundaries to rear gardens;
- Deep front gardens on North Street south of White House Farm;
- Open shallow valley feature north east of White House Farm; and
- Strong hedgerow and tree line along roadside of North Street south of White House Farm.

Townscape:

- The northern end is characterised by a tight development form and almost continuous frontages;
- The building line varies to allow for a number of different uses;
- The southern end of North Street is marked by a cluster of white cottages;
- To the east of North Street development is characterised by houses set in large plots and screened by high hedges and walls;
- Crouch Lane is distinctly different from the rest of Cranbourne, in that it has an open feel to it, with grassed verges and low buildings;
- Semi-enclosed streets with longer views out at key locations
- No significant focal points; and
- Long views down North Street to the Royal Forest.

Built form:

- Towards the south houses become smaller and development is less dense;
- At the northern end a number of non-residential uses create a small cluster of activity. In this area buildings are set very tightly together; and
- Storey heights are generally between 1-2 storeys with a number of bungalows on Crouch Lane.

Vegetation and Hard landscape:

- Belts of trees extending at right angles from North Street;
- Strong hedgelines to south west North Street;
- Clumps of trees at the ends of gardens;
- Brick walls along North Street; and
- Granite sett edging.

Boundary treatment:

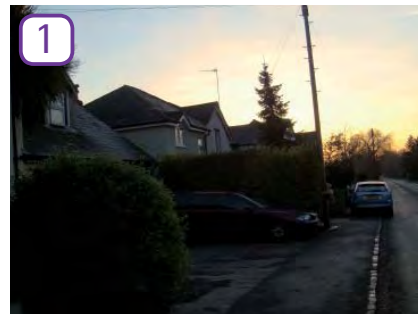
- Boundaries are either red brick walls or hedges, depending on location they vary in size, although most are high enough to block views towards the property; and
- In the south boundaries are also enclosed by high walls and/or hedges.

Summary:

Cranbourne is distinctively different from other settlements in that it appears to have a higher proportion of non-residential uses. Apart from this, it is varied in terms of built form and architecture. The linear nature of North Street provides the most significant character influence.

Recommendation:

- Protect and encourage non-residential uses in the north;
- Enhance the tighter development pattern in the south to strengthen local characteristics;
- Maintain vegetation pattern;
- Retain separation between the northeast and southwest area and reinforce local characteristics of each part of Cranbourne;
- Maintain pattern of localised building lines and size of front gardens;
- Maintain a clear difference in character between the village built area and its surrounding hinterland;
- Any redevelopment should respect the local settlement form and layout;
- Rural gaps between individual settlements should be retained and reinforced with tree and hedgerow planting in keeping with the local landscape pattern;
- Ensure that the growth of equestrian activity in the surrounding hinterland does not have an impact on the character of the setting and the built form of the village; and
- Development in the larger open spaces of Cranbourne to retain its existing loose structure.



1 Very varied and tight development in the north



2 Strong boundary planting in combination with walls of varying height.



3 Distinct group of white rendered cottages



4 Houses are well set back from the street, with trees and hedges along the boundary



5 Sense of openness around Church Lane, due to wide verges low building heights.

