

# Chapter 5

## Bracknell study area

The overall character of Bracknell is diverse, including pockets of Victorian development, housing estates of varying age including those developed as part of the new town and office developments.

The areas highlighted in this report are predominately areas that include remnants of older settlements. However buildings within these areas have been redeveloped over time leading to a loss of coherence.

For this reason the character of each study area is predominately formed by landscape, boundary treatments and streetscape. Mostly these areas are in contrast to the surrounding new town character.





# Structure / townscape setting

## Area A: Church Road / Larges Lane, Bracknell

- This area is characterised by the college and sports facilities.
- It is also very close to the town centre, although Church Road separates the area visually and physically;
- Large buildings in space;
- Incoherent access arrangements reliant on cul-de-sacs, creates a fragmented feel;
- Development around southern end of Larges Lane is more domestic in scale;
- Railway line provides barrier to south;
- Predominantly flat site on slightly higher ground which falls to the west;
- The character area sits on the cusp of the transition from the large scale built form of the town centre to the west and the residential areas to the south east;
- The area is important in the approach to the town centre;
- Strong visual links with developments around the Met Office roundabout;
- The area is severed from its surrounding by major roads and railway lines; and
- Central open space enables views across the character area to the surrounding landmarks such as Holy Trinity Church.

## Area B: Broad Lane, Bracknell

- Although this area is severed from the town centre by the railway, it is still very accessible;
- The predominant character is formed by the historic Ranelagh School building and surrounding residential development;
- To the west, between school grounds and Bagshot Road lies another residential development (Bi). This was developed during the 1960s and has its own distinct character, predominately of detached houses set around winding cul-de-sacs;
- Predominantly flat area on slightly higher ground which falls to the south and east;
- Railway line separates the area visually and physically from character area A;
- Area shares characteristics with the south side of Broad Lane beyond which, to the south, lies the new housing estate being developed at the former RAF Staff College where the density and built/landscape form will be of a different character; and
- Housing continues to the west, severed by the Bagshot Road.

## Area C: Ridgeway, Bracknell

- Distinct pocket of 1960s suburban development; and
- Well screened from views.

## Area D: Martins Lane, Bracknell

- Inconsistent development area; and
- Broad Lane and Martins Lane approach are historic routes.

## Area E: Rectory Lane, Easthampstead

- This area is part of a Conservation Area, which is made distinctive by Point Royal, a tower block, and surrounding it, a varied collection of domestic scale housing types, all of a similar era;
- The tower creates a strong landmark for the surrounding area. Its location within the open space and its slightly elevated position enhance its landmark quality further;
- Surrounded to the north west, west and south by fairly uniform housing; and
- Open grounds of school to the north east and east.

## Area F: Crowthorne Road, Bracknell

- This area is sandwiched between a number of housing estates;
- The housing area to the north is very distinctive and of unique character and in strong contrast to Crowthorne Road; Others to the south have fewer characteristics;
- Bill Hill, with its tree cover, dominates the northern part of the area and is designated as Suitable Alternative Natural Greenspace;
- Vegetation pattern continues eastwards into adjacent residential areas; and
- Low density well treed residential housing continues to the south east.

## Area G: Wokingham Road, Bracknell

- This area comprises development either side of Wokingham Road, one of the main arterial roads into Bracknell;
- The area is bordered by a large scale industrial and commercial area to the south and south east, separated by a thin belt of rear garden planting;
- Strong visual link with the surrounding countryside;
- To the north stretches a large estate of uniform modern housing; and
- To the west the townscape starts to open up into larger plots and more generous belts of trees, a foretaste of the tree covered Popeswood (Binfield/Popeswood Character Area C).

## Area H: Park Road, Bracknell

- This area comprises development on the southern side of Park Road;
- The development consists of detached houses of varying size. Some have been redeveloped into flats and others are used for non-residential uses;
- Particularly towards the south-western end, the buildings are set back considerably, with the area at the front used as car parking;
- The area is surrounded by mixed residential development which dominates the area, despite the close proximity to the town centre;
- The entrance to Park Road is dominated by large buildings, typical of the fringes of the town centre; and
- Views over the Elms Recreation Ground to the north.

## Area I: London Road, Bullbrook

- This area comprises development either side of London Road, one of the main arterial roads into Bracknell;
- The character of this area is influenced by Lily Hill Park to the north which is bounded by trees and overgrown hedgerows that allow glimpses through to the park;
- Lily Hill Park is designated as Suitable Alternative Natural Greenspace;
- Development consists of detached houses set in long narrow plots; and
- The area terminates in the east at Drovers Way, an historic wooded link south from the former Martins Heron residence.

## Area J: Warfield Road / Gough's Lane, Bracknell

- The character for this area is set by these two historic lanes. Both are of rural character and have remnants of Victorian development alongside them;
- Almost all of the houses are detached, with smaller plot sizes in the newer development to the east of Gough's Lane;
- These areas are set within a wide area of mixed housing; and
- The open countryside is less than 100m to the north and the area still retains character links with the rural hinterland.



Business development east of character area G



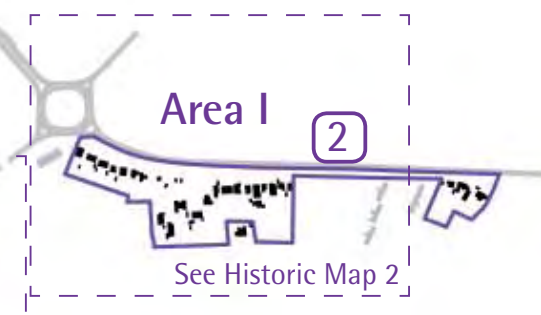
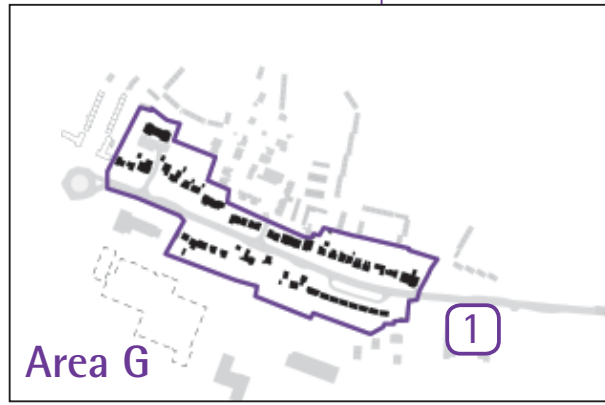
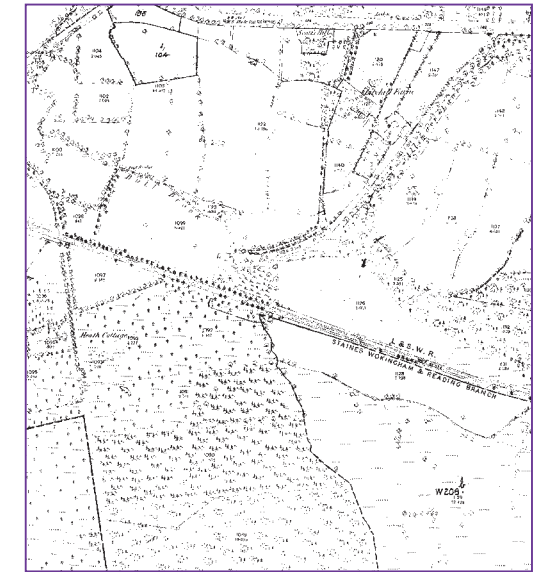
Lily Hill Park



Historic Map 1 1903-1943



Historic Map 2 1843-1893





# Area A: Church Road, Larges Lane, Bracknell

As mentioned before this area is very close to the town centre and is characterised by large buildings in space. A Cricket ground allows for long views towards the college building and creates a sense of openness.

## Landscape Character:

- Well maintained landscape of gentle grass banks and formal, mainly evergreen shrub planting to the flats in south west of the character area;
- Mixed and rather weak landscape treatment to Church Road and Larges Lane; and
- Football ground raised on bank.

## Townscape:

- The area is characterised by large institutional buildings and blocks of flats;
- There is little definition of streets, in terms of building frontages, and most blocks are set within space;
- Character of the residential development is in sharp contrast to character area B to the south; and
- Remnant of early Victorian housing adjacent to the railway line, enclosed within tree and mature shrub planting.

## Built form:

- Although outside the character area Chapel House and the Chapel create high quality landmark features and can contribute positively to the character area A;
- Development heights range from 2 storey houses to 7 storey institutions (college buildings);
- There is no coherent architectural approach, although most buildings were developed during the 1960s or later; and
- Plot boundaries are not clearly defined, as buildings are set within car parking areas and small lawn areas.

## Vegetation and Hard Landscape:

- Tree lined edge to the railway line;
- Hedgerow planting along Larges Lane, a remnant of planting along the field boundary dating at least from the Victorian period;
- Formal grass bank and hedges at Mount Pleasant; and
- Unattractive concrete block walls to football ground.

## Boundary treatment:

- Generally, there is no consistent boundary treatment. However, around Mount Lane, areas for different uses or varying ownership are separated by well maintained low hedges; and
- Shrub and tree planting defines the western edge of Larges Lane.

## Summary:

The area is located close to the town centre and may therefore be considered suitable for greater densities. However, it creates a transition between the larger town centre buildings in the west and the smaller dwellings to the east. The existing character of the site is not very positive and may be appropriate for change.

## Recommendations

- Generally development should be in the form of blocks of flats due to the location;
- Development along Larges Lane should consist of houses and smaller blocks of flats to create a transition to the residential areas to the east;
- Future development should contribute to creating a more cohesive, and locally distinctive landscape/townscape setting to the buildings and the important approaches to the town centre. A development brief should guide future development;
- Landscape and townscape form must reflect its transitional character and hence create a stronger sense of place for the whole area;
- Conserve and enhance the remnant Victorian townscape character in the south east and the tradition of roadside hedgerow along Larges Lane; and
- Use landscape characteristics of the south west residential area as a theme for the character area external treatment.



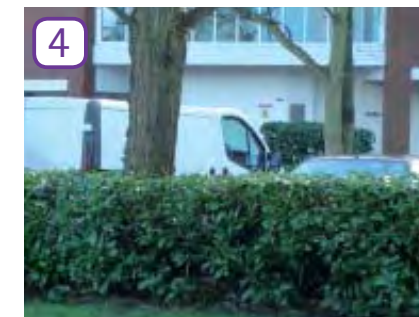
Long view over cricket ground towards the college building












Block of flats next to the railway line on Mount Pleasant



Some of the residential buildings appear to be sheltered housing



Well maintained hedges screen car parking areas

-  Character area boundary
-  Buildings
-  Hedges, lawn and distinct landscape
-  Shrub and tree planting
-  Sports pitches
-  Car parking areas
-  Key views
-  Buildings that contribute particularly to the character
-  Prominent site



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## Area B: Broad Lane, Bracknell

Although close to Bracknell town centre this area feels semi rural. A number of detached houses are set around the historic approach to Ranelagh House. The character of this area is formed primarily by landscape features, such as avenue planting on Ranelagh Drive and grassed embankments on Larges Bridge. Due to their distinctive landscape and boundary treatments, these two streets are each very different, although the built form itself is not of particular coherent character.

The core of this area is centred on Ranelagh Drive and Larges Drive. Areas C to the west and D to the east have been included to draw attention to the key characteristics of these areas. However, these areas have been subdivided into 3 parts illustrating their different characteristics.

### Area B

#### Landscape Character:

- Visual links between area B and C;
- Mature tree lined roads;
- Trees mark entrance to Ranelagh School grounds; and
- Open space with specimen trees provides setting to original school building.

#### Townscape:

- Individual houses set in large plots that allow for space and tree planting in between houses;
- Vista from school gateway to original school building;
- Good sized plots with individual dwellings giving sense of spaciousness, in pleasant contrast to the more urban form of the surrounding area;
- Sinuous curve to Larges Bridge; and
- Residential development is smaller in scale and massing than the institutional buildings.

#### Built form:

- 1-2 storey detached houses, with the school buildings slightly larger;
- No consistent architectural approach within the main area; and
- Houses, predominately detached and laid out in an informal manner with gaps between them.

#### Vegetation and Hard Landscape:

- Remnant hedgerows to Broad Lane and Larges Bridge;
- Avenue tree planting on Ranelagh Drive;
- Mature trees in the verges and evergreen hedging to Ranelagh Drive; and
- Soft roadside edges and lack of kerbs.

#### Boundary treatment:

- Mixed front boundary treatment (walls, fences, remnant hedges);
- Along Ranelagh Drive there are generally no boundary treatments, which creates an open and intimate feel;
- Where boundary treatments exist these vary between fences and planting; and
- Distinct embankments and hedges either side of Larges Bridge.

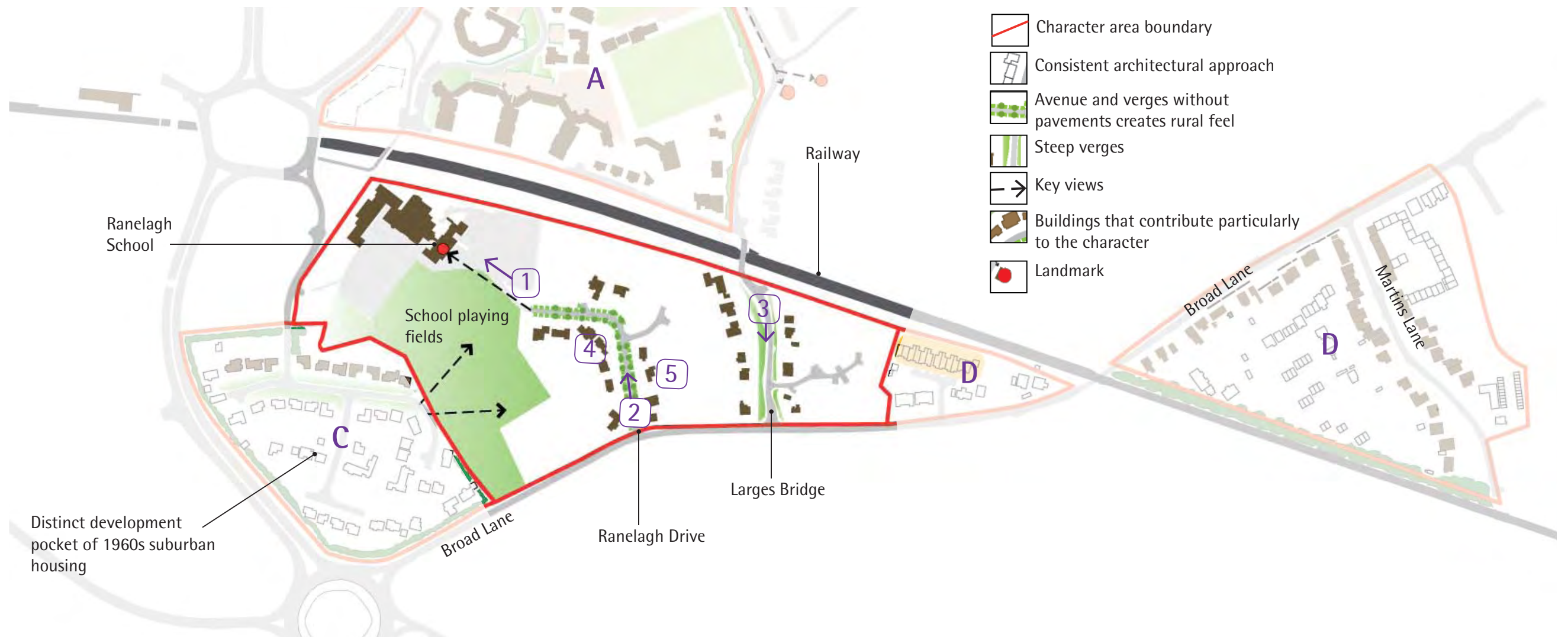
#### Summary:

The area is of positive character and provides a high quality living environment, close to the town centre.

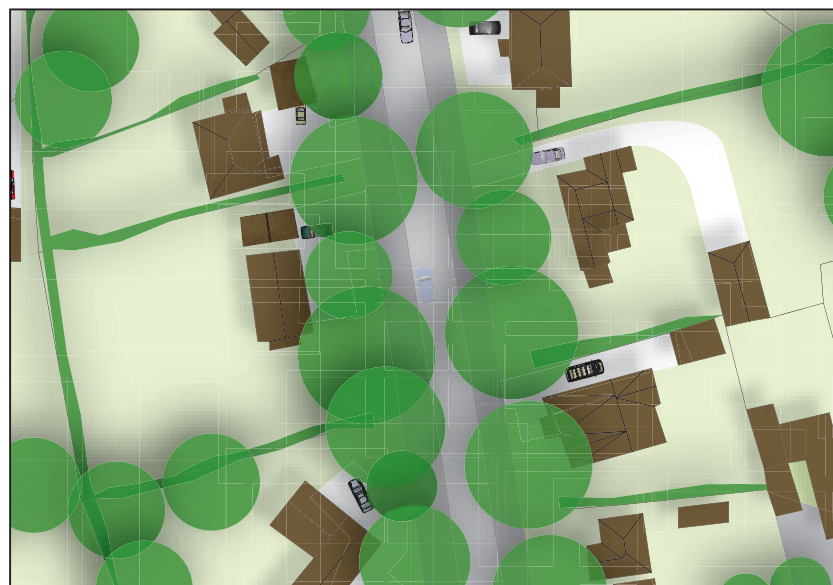
#### Recommendations

- Development along Ranelagh Drive and Larges Bridge should be kept to a lower density with detached houses in generous plots and spaces in between them;
- Retain tree cover and encourage further tree planting in Martins Lane;
- Development to enhance views down Broad Lane; and
- Development along Broad Lane should be of higher densities with a more continuous building line.





Distinct development pocket of 1960s suburban housing



Detailed plan of development along Ranelagh Drive showing the variety of houses



Section of development along Ranelagh Drive showing the strong avenue planting.

# Area C: The Ridgeway, Bracknell

Although close to Bracknell town centre this area forms a pocket of suburban housing. It is well screened and hidden from view. It forms an enclave due to it being a cul-de-sac and accessible only via Hazel Hill.

## Landscape Character:

- Strong tree belt on north western boundary to Bagshot Road; and
- Dense but narrow tree and shrub belt along boundaries screening development from traffic.

## Townscape:

- It is a comprehensively developed 1960s suburban housing estate;
- Gateway effect created by conifer hedge and fencing on Hazel Hill separates area from larger grain of townscape to the north; and
- Uniform patterns of housing on similar plots.

## Built form:

- 2 storey detached houses;
- Consistent architecture language, with asymmetrical steep pitched roofs;
- Mostly gables on street frontage with buildings with ridge line parallel to street set back; and
- Predominant materials are yellow brick and white framed fenestration.

## Vegetation and Hard Landscape:

- Few mature trees punctuate an otherwise open character;

## Boundary Treatment:








- Open frontages with grassed lawns and no boundary treatment.

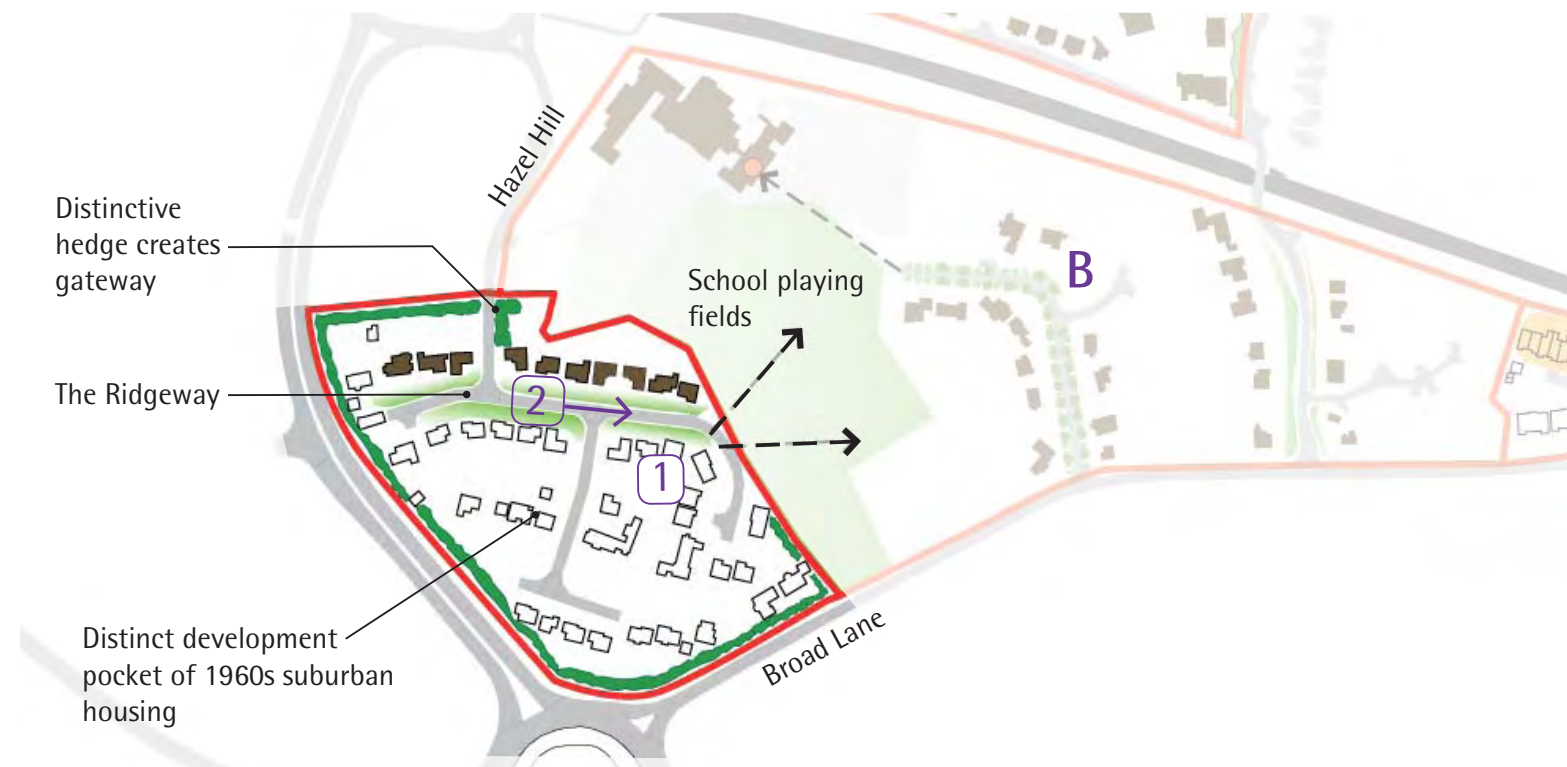
## Summary:

- The area has a positive and distinct character. It is very consistent in terms of architecture, materials, street layout and boundary treatment.

## Recommendations:

- Retain density of tree cover in the north west and along Bagshot Road;
- Retain gateway effect on Hazel Hill;
- Retain glimpsed views of Ranelagh School;
- Development should follow the existing architectural language, using similar materials and roof forms; and
- Physical boundary treatments such as walls / hedges should be avoided as they are contrary to the prevailing character.

-  Character area boundary
-  Consistent architectural approach
-  Avenue and verges without pavements creates rural feel
-  Steep verges
-  Key views
-  Buildings that contribute particularly to the character
-  Landmark



Typical architecture



Houses are set behind small lawns without any boundary treatments



# Area D: Martins Lane, Bracknell

This area is of little consistency and has no coherent character.

## Landscape Character:

- Localised tree and shrubs line roads at the southern end of Martins Lane and the approach to Edisbrook; and
- Informal tree lined boundary to the railway line.

## Townscape Character:

- Long view westwards down Broad Lane;
- Low rise area with pockets having a 'cottagey' feel; and
- There are some remnants of Victorian Housing along Broad Lane and also Martins Lane that appear to be an historic route.

## Built Form:

- Development is varied in terms of architecture and building typology.

## Boundary treatment:

- Boundary treatments are varied and without consistency, including hard landscaping frontages and some low brick walls with narrow views to Broad Lane and Martins Lane.








## Summary:

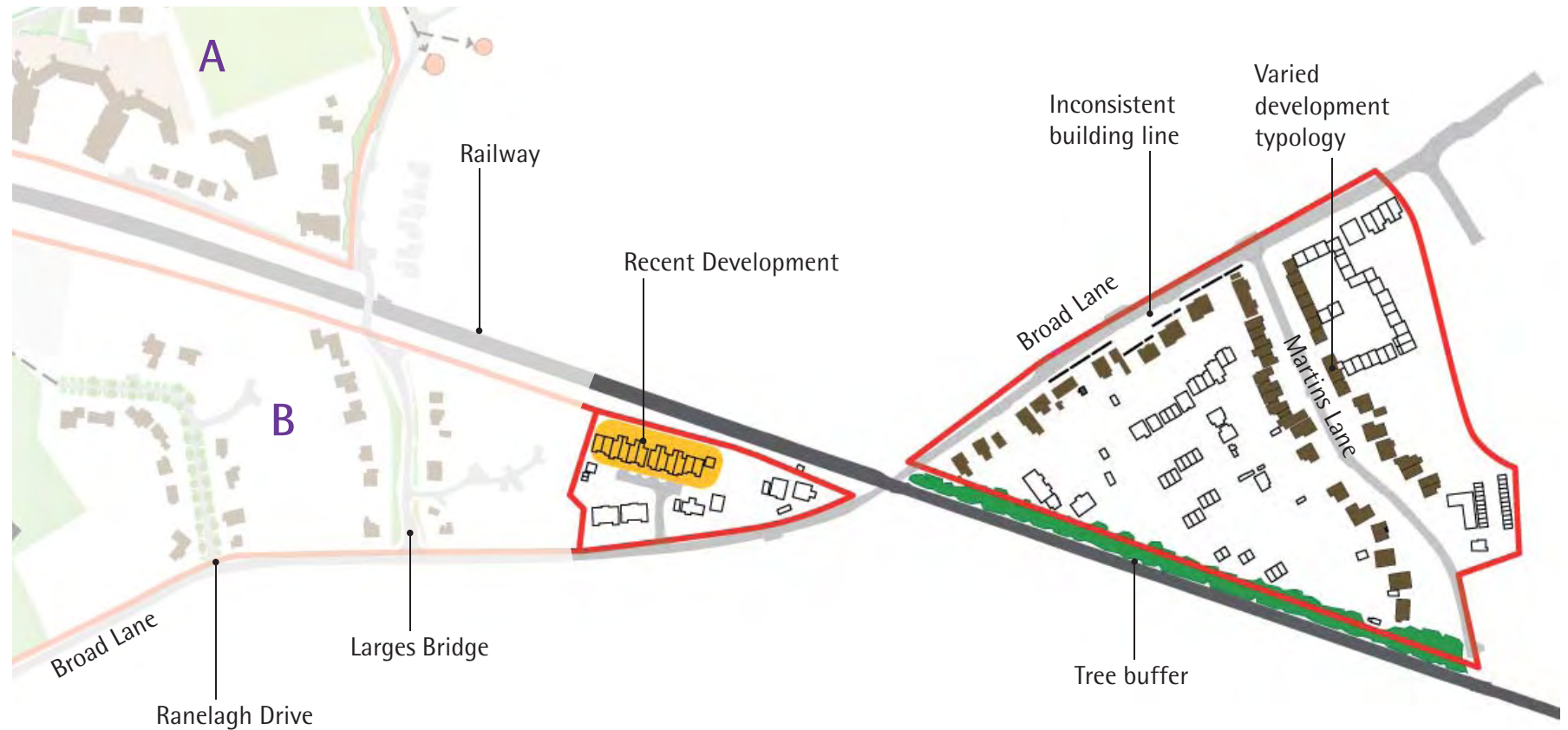
- Due to the lack of consistent features, there is no overarching character.

## Recommendations:

Due to the lack of any consistent features, there is no overarching character. However the following broad recommendations are made:

- Retain tree cover and encourage further tree planting in Martins Lane; and
- Development to enhance views down Broad Lane.

-  Character area boundary
-  Consistent architectural approach
-  Avenue and verges without pavements creates rural feel
-  Steep verges
-  Key views
-  Buildings that contribute particularly to the character
-  Landmark







Ranelagh School



Variety of houses and boundary treatments within the character area



Avenue planting is characteristic for Ranelagh Drive



Steep verges and hedges create a unique character along Larges Bridge







# Area E: Rectory Lane, Easthampstead

Easthampstead is a designated conservation area. The character area is centred around the Point Royal tower block, which forms a distinct landmark for the wider area.

## Landscape Character:

- Area dominated by Point Royal and its distinctive late 1960s/early 1970s landscape design of grassed banks, concrete detailing and bold planting;
- Local intimate areas with small to medium open spaces such as outside the bungalows on Pond Moor Road, the crescent on Rectory Lane and The Green;
- Individual specimen tree planting;
- Hedgerow and wooded clump separates area from the school to the north east;
- Level differences are taken up in verges alongside roads;
- Individual trees set in grass provide setting to Point Royal; and
- Area north of Swancote Green lies on the site of the former Rectory.

## Townscape:

- The townscape is typical for new town development and comprises a collection of different housing types and forms of that era, including the tower block and local centre;
- Crescent block north of tower block is distinctive, although not very well integrated into the overall development structure;
- Strong contrast between the tower and bungalow development to the south;
- Little sense of enclosure to streets and open space;
- Varied townscape with a great variety of open spaces; and
- Despite variety there is a strong sense of place and cohesion within the area .

## Built form:

- Most buildings are between 1-2 storeys with blocks of flats of 3 storeys in the local centre;
- Materials are predominately yellow/brown brick;
- Variety of terraces, semi detached, and detached houses; and
- Development of medium density with larger gardens, especially around Swancote Green.

## Vegetation and Hard Landscape:

- Shrubbery and trees in grass at junction of Rectory Lane and Crowthorne Road define junction;
- Individual trees set in grass; and
- Neat front boundary hedgerows to property in The Green.

## Boundary treatment:

- Throughout the area there is little definition of boundaries, and most houses are set behind grassed verges.

## Summary:

In summary this area has a distinct character and interest, although the majority of buildings are in a relatively poor condition. Other negative features are:

- Mediocre external design to local centre (hard and soft surrounds to the community centre) which adds little to the local character;
- Overuse of concrete bollards to centre; and
- Poor hard landscape detailing except to Point Royal approach.

The positive character is created largely by the drama of Point Royal in its setting in contrast to the domestic scale of the surrounding area and by the variety of housing, all of a similar era, within the area.

## Recommendations

- Retain the open space around Point Royal;
- Retain the interest of the area through retaining the original built form;
- Maintain and enhance the Point Royal landscape;
- Maintain an eclectic variety of open spaces;
- Ensure a high standard of external detailing to any development;
- Maintain vista to Point Royal; and
- Retain vegetation along the boundary with the school.



Point Royal is a local landmark that is widely visible



Point Royal is the only tall structure juxtaposed by 1-2 storey housing



Open spaces with dispersed trees



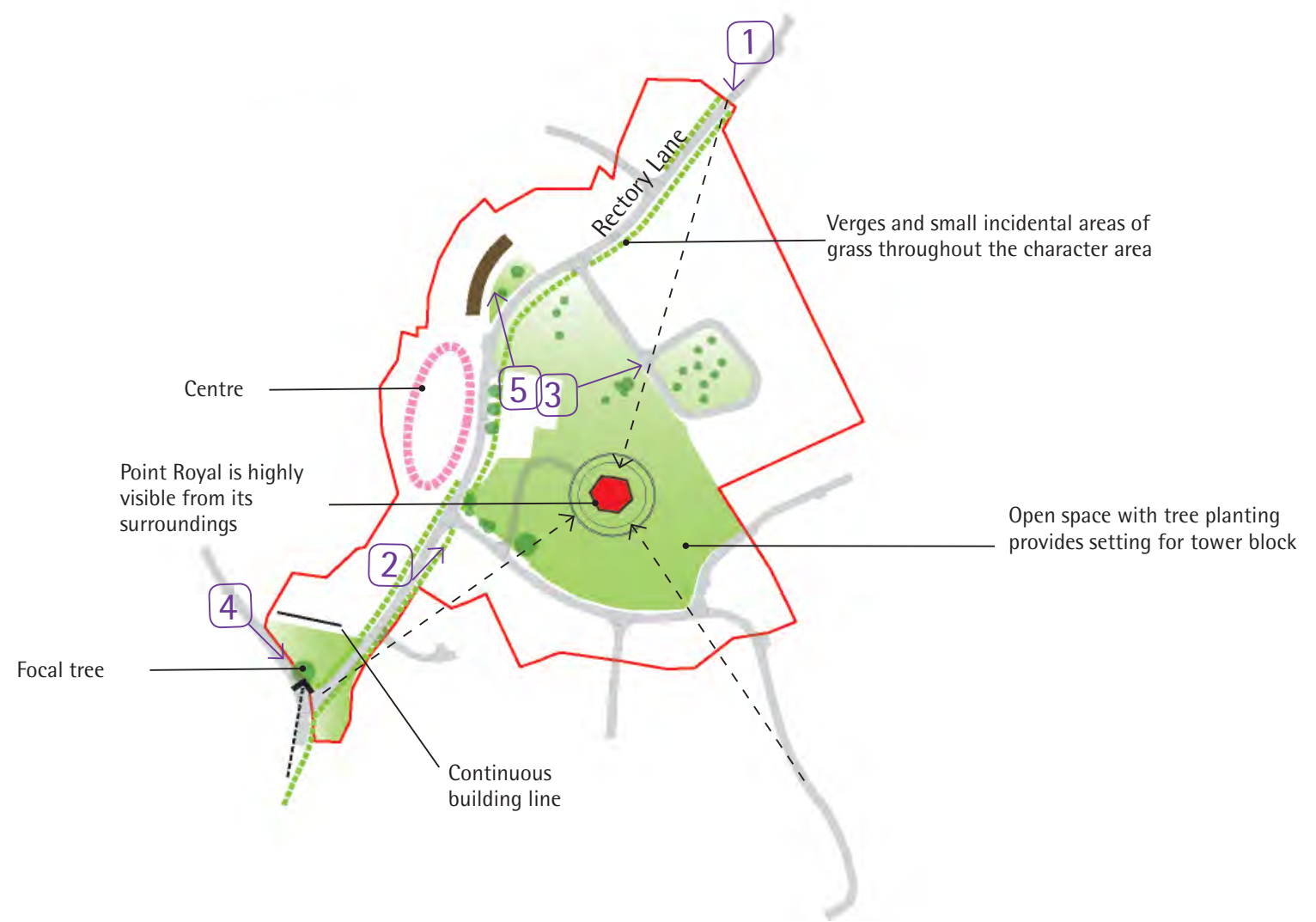
Some trees are mature and focal points in key locations



This crescent is distinct in townscape terms .



-  Character area boundary
-  Landmark tower
-  Grassed verge and small lawns alongside road
-  Open space with dispersed tree planting
-  Key views
-  Buildings that contribute to the character
-  Local centre
-  Consistent building line



# Area F: Crowthorne Road, Bracknell

This character area is formed around the northern end of Crowthorne Road.

## Landscape character:

- Street scene opens up at north east end on the approach to the junction with Wildridings Road; and
- Area runs along north western flank of gentle ridgeline of which Bill Hill forms a part.

## Townscape:

- Long views down Crowthorne Road to Downshire Way;
- Generally dominated by large properties in substantial plots; and
- Staggered building line on both sides of road, with property set up above the road on the south side;

## Built form:

- Irregular development of houses or blocks of flats in large plots;
- All buildings are set back from the street;
- The buildings are smaller towards the south-western end;
- No consistent architecture;
- Building heights of 2-2.5 storeys; and
- On the northern side detached houses are set closer to one another on narrow long plots.

## Vegetation and Hard Landscape:

- Mixed hedge species including conifers;
- Important small tree group at junction with Downshire Way; and
- Mature trees in gardens.

## Boundary treatment:

- Dense boundary planting, including hedges, shrubs and trees;
- Western end tightly enclosed by hedges and tree planting along frontages of plots;
- The eastern part of the road is also lined by verges creating a sense of openness, which is emphasised by the contrast with the highly enclosed southern end of Crowthorne Road;
- Remaining low and medium height front brick walls; and
- Front boundaries defined by hedges and some brick walls.

## Summary:

This area is focused on a small section of development around Crowthorne Road. Some of the development is a remnant of historic development forms, left over following the New Town development. The area appears to be undergoing change with plots being redeveloped with either larger houses or blocks of flats. Some of the local character is being eroded through inappropriate external and boundary treatment.

## Recommendations:

- Larger houses dominate, although some of which have already been redeveloped as blocks of flats. Future redevelopment should be in the form of small blocks of flats that work within the existing plot pattern.
- To the west smaller plots could be combined, and to be developed in the form of pavilion blocks rather than a continuous frontage;
- Loss of general plot pattern should be avoided and could accelerate the loss of local distinctiveness;
- Enhance landscape focal point at end of view to Downshire Way;
- Retain pattern of large buildings set back within good plots and individual trees;
- Retain roadside planting to south western end of the area and encourage replacement and new roadside planting at north eastern end;
- Use new built form and substantial locally distinctive landscaping to reinforce contrast with area to the north and link to character of Bill Hill;
- Make greater use of brick wall/hedge frontages to reinforce character; and
- Retain the boundary planting throughout.



1 Highly degree of enclosure at the southern end of Crowthorne Road



2 New development is in keeping with the character in terms of building form, but the lack of mature boundary planting detracts from the overall character



3 Sense of openness at the northern end of Crowthorne Road



4 High quality houses set behind high hedges











Detailed plan of development along Crowthorne Road showing a variety of houses and plot structure.



Section of development along Crowthorne Road.



- |   |  |
|---|--|
|  Character area boundary             |  Open space         |
|  Boundary planting, hedges and trees |  Key views          |
|  Typical development form            |  Trees within plots |

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# Area G: Wokingham Road, East Bracknell

This character area is formed around one of the arterial roads into Bracknell and the area tends to be dominated by heavy traffic. A small sub area (Ei) lies to the west of the main character area.

## Area E

### Landscape Character:

- Lies on falling ground to east, descending from the higher ground at Popeswood; and
- Garden planting makes little contribution to the street scene.

### Townscape:

- Extensive views down Wokingham Road and over roofs to the commercial areas to the south and east;
- The area is a remnant of older housing set within extensive modern homogenous residential and commercial areas;
- The area lies on a major approach to Bracknell as a transition from the large tree covered grounds of Popeswood to the town centre (west to east) and between the surrounding large scale buildings and residential area (south to north);
- The overall character of this area is weak and very little ties it together. Historically development consisted of detached houses in long, narrow plots. A few of these still remain. However they are of poor quality and do not set a strong character; and
- This study area is not particularly distinctive along Wokingham Road.

### Built form:

- Very varied development form with inconsistent building typology and architecture;
- Varied building line to the road edge;
- Buildings are set back from the street, but vary in degree of set back and front garden treatment;
- Development heights of between 1-4 storeys; and
- Blocks of flats and detached houses, including bungalows.

### Vegetation and Hard Landscape:

- Rear garden boundary tree and shrub planting;
- Significant belt of trees to the boundary.

### Boundary treatment:

- Varied front garden treatment with some brick walls and hedges.

### Summary:

This area is focused on a small section of development around Wokingham Road. Some of the development is a remnant of historic development forms, but it is of limited quality and overshadowed by more recent redevelopment. Some further erosion of the character has arisen due to inconsistent frontage treatment and generally poor external landscape.

### Recommendations

- This area is currently undergoing change and although some of the historic character of detached houses is still detectable, it is not strong enough to determine an overall character for the area;
- Due to location redevelopment should be in the form of blocks of flats. The location and high volume of traffic would further support this approach. This area provides the opportunity to create a new character along Wokingham Road and a higher quality approach into Bracknell;
- A development brief should be prepared to guide further development;
- The overall character of this area is weak and very little ties it together. Historically development consisted of detached houses in long, narrow plots. A few of these still remain. However they are of poor quality and do not set a strong character, therefore they should not serve as precedents for future development;
- Retain long vistas;
- Enhance the townscape approach to the town centre;
- Ensure that all development has a high standard of external space and landscape treatment;
- Create a stronger locally characteristic treatment to the road frontage; and
- Reintroduce major tree planting down Wokingham Road to bring tree cover closer to the town centre and create a better streetscene of high quality and stature.

## Area Ei








### Key characteristics

- Tight knit group with strong character at the entrance to Moordale Avenue;
- Generous green verges with small trees; and
- Indifferent landscape treatment to Wokingham Road.

### Recommendations

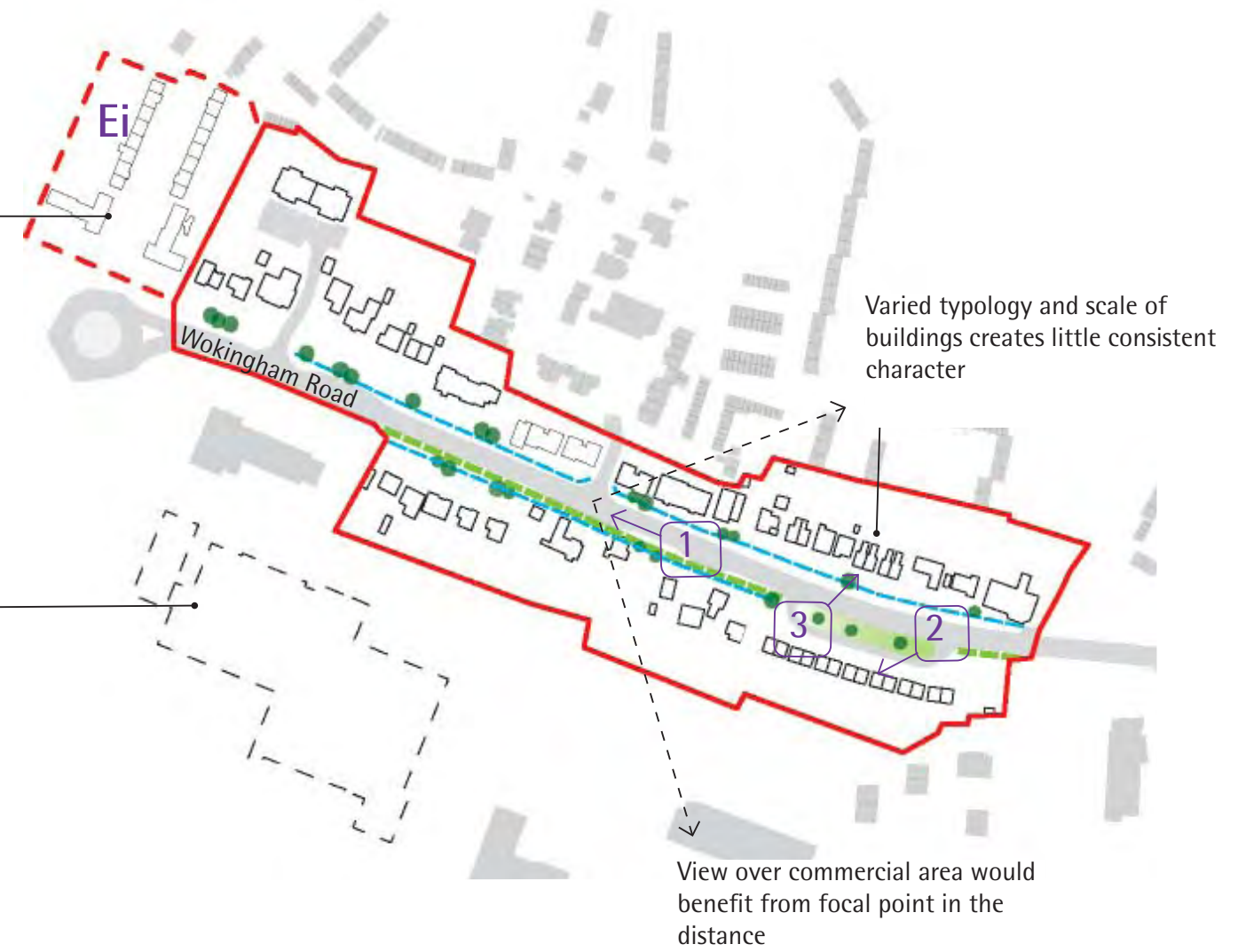
- Enhance landscape treatment to Wokingham Road – tree planting preferable; and
- Retain as gateway development.



-  Character area boundary
-  Boundary of sub-character area
-  Varied boundary treatment
-  Verge
-  Trees along boundaries
-  Very varied development form with inconsistent building line, typology and architecture
-  Key views

These two blocks of flats in red brick are distinct and create a local focal point.

Redevelopment area



1 Wokingham Road looking north



2 Development of semi detached houses breaks with the historic character



3 One storey development along Wokingham Road

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## Area H: Park Road, Bracknell

This character area is formed of development south of Park Road. Although the development on the northern side is not specifically included the boundary treatment along the northern contributes to this character area.

### Landscape character:

- Distinct landscape character from the surrounding residential areas;
- Strong hedgerow frontages with some significant mature trees (remnants of Victorian planting up Park Road);
- Small but prominent open space with trees adjacent Rokeby Close;
- Located on gently rising ground north east of the town centre; and
- Ditch along north side of road.

### Townscape:

This ribbon development of only a limited number of houses, has limited townscape character.

- Towards the south end buildings are of greater bulk and massing;
- Variety of smaller, predominately detached, houses to the north;
- PH forms landmark building; and
- The area is still dominated by detached houses that are set within separate plots.

### Built form:

- Detached houses in long narrow plots;
- Large houses, with gables, dormers and pitched roof forms;
- Development height around 2-3 storeys;
- Dominant material is red/orange brick or/with light render; and
- Set backs of buildings varies.

### Vegetation and hard landscape:

- Evergreen hedges (privet, laurel and eleagnus) and beech; and
- Two major groups of trees in the centre and north eastern end of the area.

### Boundary treatment:

- On the south-eastern side boundaries are predominantly low walls, but with some fences and hedges;
- Verges and thick hedges along parts of the north-western side and a historic wall at the northern end; and
- Significant brick wall along the boundary to Spring Meadow (probably the boundary wall to the former Forest Lodge gardens showing on the early 19th century maps).

### Summary:







Overall the area has a positive character as the landscape and boundary conditions create a sense of coherence, although the buildings vary and are of little consistency. A 1960s flatted development is out of character and does not contribute positively. The landscape transition at the west end of Park Road into Park Road at Avis House into Park Road is not well marked by landscape features.

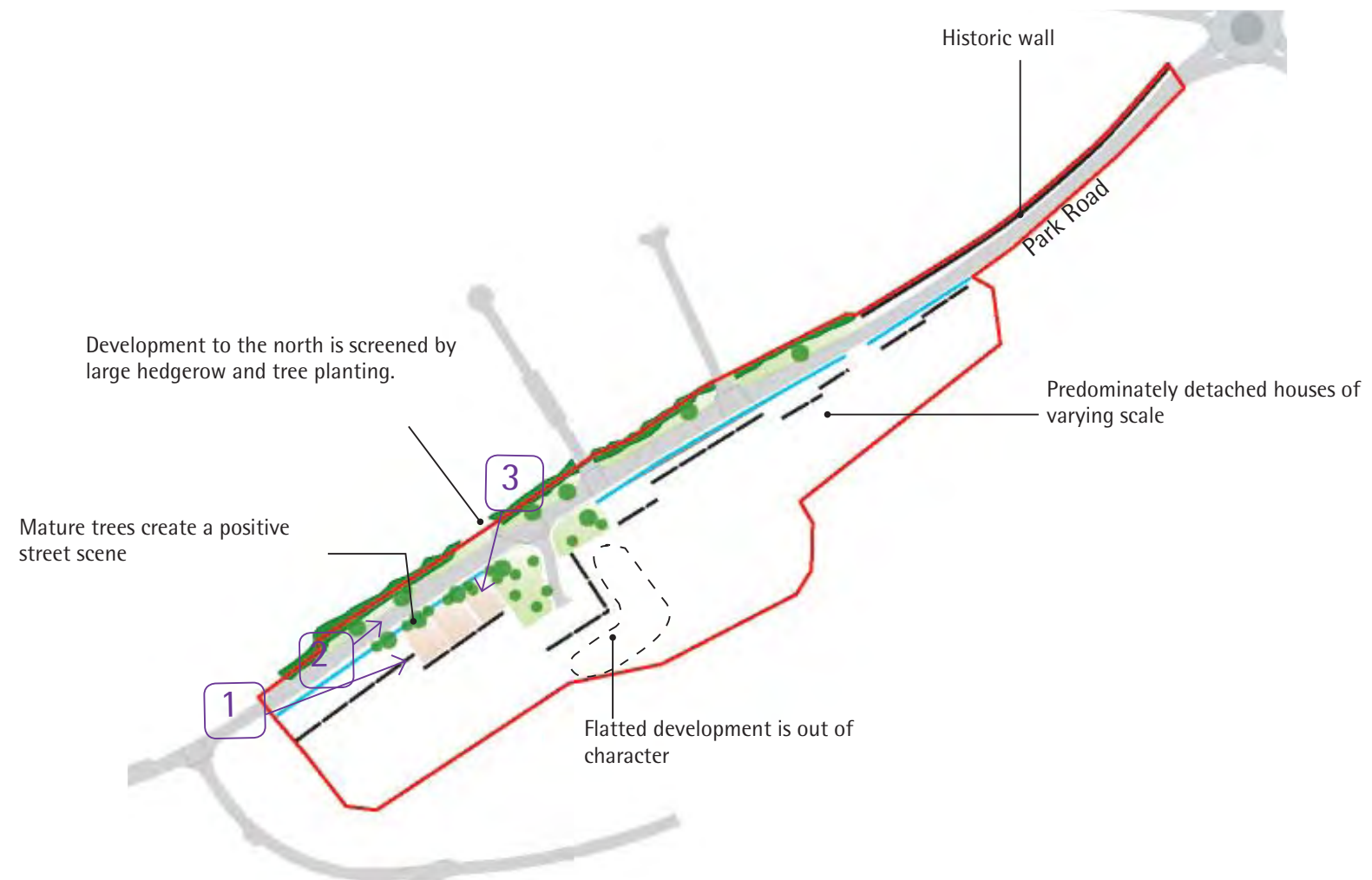
A historic wall at the northern end is the most memorable feature, however its appearance is let down by close boarded fences that have been added.

### Recommendations

- The redevelopment of individual plots may be acceptable, but the overall structure should be retained;
- Larger buildings and higher storey heights are more suitable towards the south-western end;
- The existing blocks of flats on Rokeby Close should not be seen as a precedent for the area;
- Retain the contrast between this area and its surroundings;
- Conserve the roadside treatment and the two major groups of trees;
- Conserve the brick wall and use as bench mark (together with good hedges) for future frontage treatment; and
- Restore treed gateway at southern end of Park Road.



-  Character area boundary
-  Varied boundary treatment
-  Varied building line
-  Historic wall
-  Verge, boundary planting and trees
-  Front gardens used as parking space



1  
Varied building height and position



2  
Verge and strong boundary planting along the northern edge and mature trees on either side



3  
Houses set back behind large front garden / parking courts

# Area I: London Road, Bullbrook

This character area is formed around one of the arterial roads into Bracknell and the area tends to be dominated by heavy traffic. The character of this section of London Road is set by Lily Hill Park and the mature trees along either side of the road.

## Landscape character:

- Area is dominated by extensive tree cover at Scott's Hill, and along the roadside in front gardens and in rear gardens;
- The Scotts Hill on the southside of London Road planting and the verges and roadside trees date back at least to the early 19th century;
- Planting is an important feature of plot side garden boundaries; and
- Generous plots, often long but not wide.

## Townscape:

- Ribbon development; and
- Pavilion style development, (i.e. houses set in a fairly regular rhythm with gaps in between).

## Built form:

- Detached houses in long and narrow plots;
- Houses set back with wide highway verges;
- Varied architecture and building size;
- Fairly consistent building line and set back; and
- Development between 2-3 storeys.

## Vegetation and Hard Landscape:

- Mature oak and holly understorey.

## Boundary treatment:

- Varies with high fences, walls and/or hedgerows.

## Summary

The area has a positive character. However this is defined predominately by the landscape and boundary treatment. The rhythm of the development is characteristic, but the design of individual houses provides no consistent character.

## Recommendations

- Redevelopment of single plots should be in the form of blocks of flats, however these need to appear as large houses (pavilion blocks) with possible mews style development at the rear;
- Building heights could be slightly increased;
- Buildings should be set back to respect the overall building line and retain trees along the boundary;
- Any future highway improvements should retain the existing roadside landscape;
- Conserve and enhance the boundary planting to Lily Hill Park and its physical and visual links with the character area;
- Open up a few framed vistas into the park under the tree cover;
- Retain existing tree cover and verges; and
- Retain plot pattern and where possible soft garden boundary treatment.



Mature trees set the character of London Road








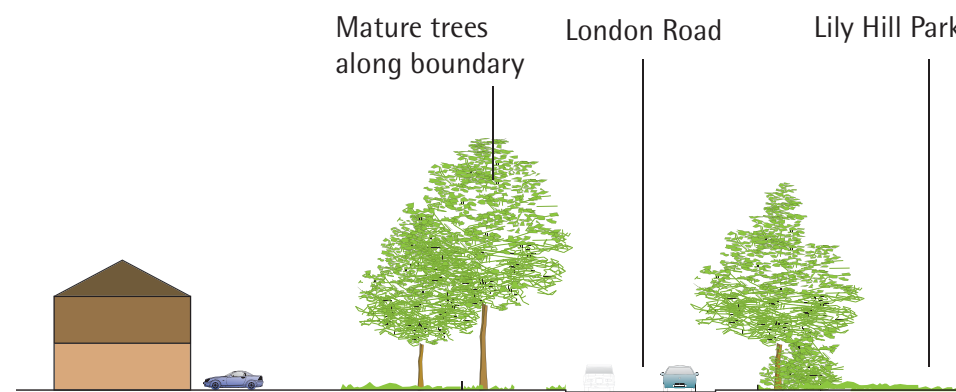
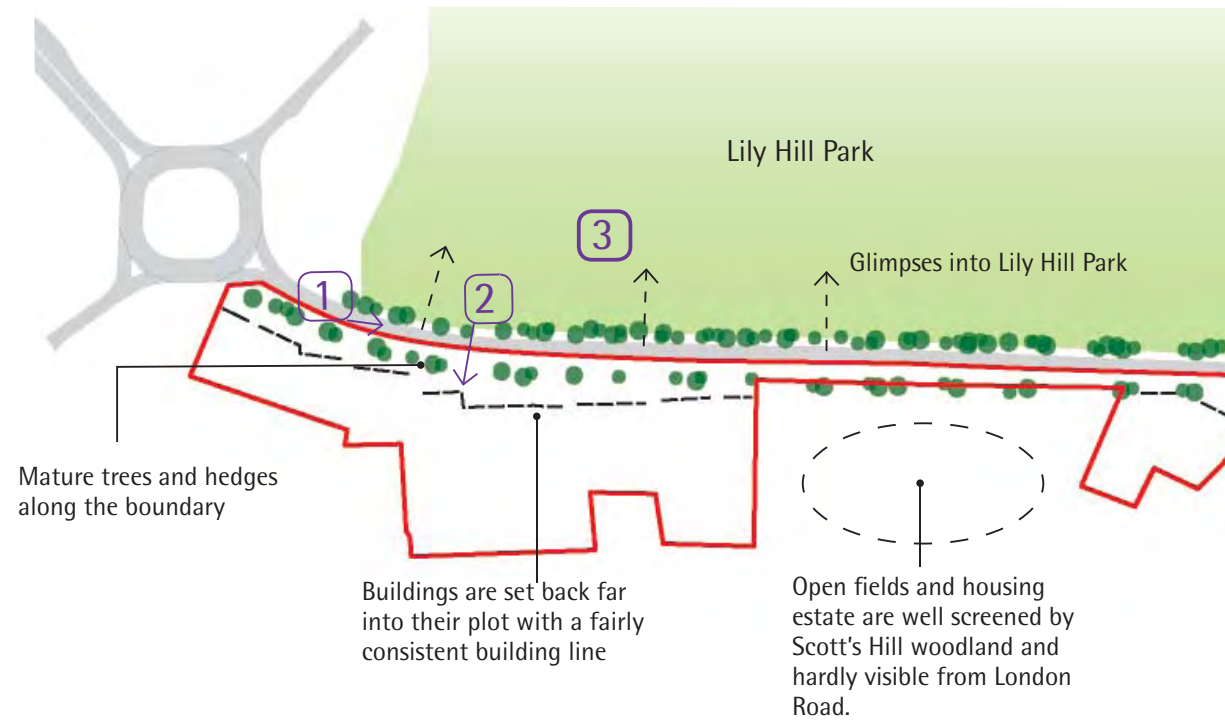
Development of individual houses that vary in architecture



Lily Hill Park



-  Character area boundary
-  Varied boundary treatment
-  Open Space
-  Trees along boundaries
-  Key views



Typical section showing development alongside Lily Hill Park



Typical plan showing development south of London Road

## Area J: Warfield Road, Priory Lane and Gough's Lane, Bracknell

This character area consists of two pockets of development, each focused around a lane. Development is varied and the character is predominately set by streetscape, landscape and boundary treatments.

### Landscape character:

- Priory Lane is part of a former tree lined rural lane leading to west Newell Green (the Priory and Newell House);
- Warfield Road was also formerly tree lined ;
- Gough's Lane is also part of a former tree lined rural lane leading to east Newell Green;
- Ditch lined roads with hedgerows and trees;
- Gough's Cottage a prominent focal point in views north;
- Rural appearance to northern end of Gough's Lane;
- Narrow lanes and well vegetated front gardens retain rural references and give an sense of intimate scale;
- Small ditches further enhance the rural feel of this area.;
- Rear garden boundaries defined by tree planting; and
- The ponds (Newt Reserve) north of Wykeham House and the open space to the west are the sole surviving features of the brick and tile works which extended from Priory Lane to Gough's Lane in the 19th century.

### Townscape:

- Both lanes have a rural character and the carriageway is kept to a minimum width with verges instead of footpath;
- Warfield Road is a higher priority road and a main link into Bracknell. Nevertheless it is still in keeping with the overall 'rural' character, i.e. high hedges on both sides, verges and a ditch on the western side;
- The character area formed around Gough's Lane is marked by a positive landmark building. The orientation and landscape around Gough's Cottage create an arrival point for this area; and
- A characteristic on both lanes is the high hedges with roof tops that are visible above.

### Built form:

- Inconsistent architectural approach and period of development;
- All houses are detached;
- Some remnants of Victorian development with newer infill;
- Materials range from red brick to white render;

- Roof forms are traditionally pitched; and
- Buildings are set back within plot, mostly behind a small forecourt/front garden.

### Vegetation and Hard Landscape:

- Mature roadside oak;
- Neat evergreen front hedges and remnant hedgerows;
- Narrow soft verges; and
- Lack of pavements along the lanes.

### Boundary treatment:

- Boundaries are lined by high hedges and mature tree planting; and
- Consistent boundary treatment and alignment in the form of hedges.

### Summary

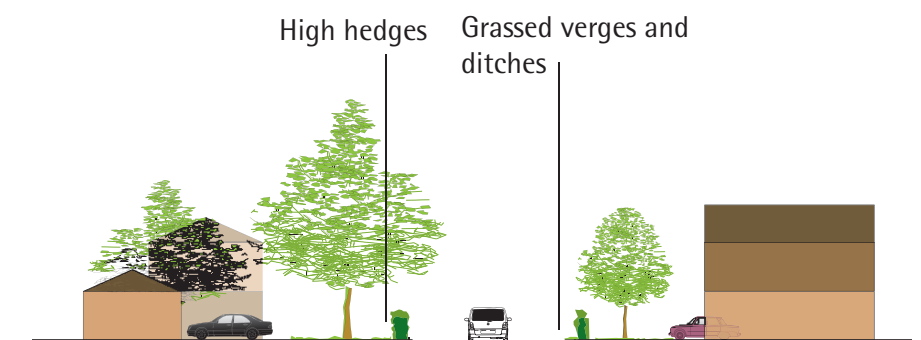
The newer estate to the east of Gough's Lane provides a positive example of how higher density can be achieved in keeping with the existing character. Houses are grouped around shared access courts, therefore minimising the breaks within the existing vegetation and reducing the impact of the build frontage.

### Recommendations

- Retain remnant rural character and visual links with the open countryside by means of native planting links;
- Retain intimate scale;
- Retain tree and hedgerow lines character of the highways and footpath links;
- Piecemeal erosion of the townscape setting should be avoided as it may lead to a loss of character;
- Retain and enhance the roadside planting along Warfield Road;
- Enhance the open space to the west of Wykham House as a historic feature linked to the newt reserve; and
- Any redevelopment in the area should retain and enhance where possible the green edge to the open countryside to the north.



Detailed plan showing development on Priory Lane.



Typical section showing development on Priory Lane.





1 Priory Lane is of a rural character.



2 Rooftops are visible over high hedges.



3 Variety of architecture



4 Gough's Cottage forms important arrival point.









5 New development to the East of Gough's Lane



6 Hedges are a key characteristic in this area.



-  Character area boundary
-  Boundary condition, verge, ditch and hedges
-  Open space
-  Varied building line
-  Key views
-  Focal point

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